



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 04/07/14

Permit No.: B14001007

Building Address: 15416 Rivercrest Court
City: Brooksville State: MD Zip Code: 20833
Suite/Apt. # - Subpart/BA#: GP14-051
Census Tract: 6040.22 Subdivision: Rivercrest
Section: - Area: - Lot: 9
Tax Map: 21 Parcel: 84 Grid: 20
Zoning: RC Map Coordinates: Map 8 Lot Size: 55,116.56
J-12

Property Owner's Name: Columbia Builders, Inc.
Address: P.O. Box 999
City: Columbia State: MD Zip Code: 21044
Phone: 410-730-3939 Fax: 410-992-3020
Email: RTASH@ColumbiaBuildersInc.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Ron Tash Agent
Address: P.O. Box 999
City: Columbia State: MD Zip Code: 21044
Phone: 410-324-4725 Fax: 410-992-3020
Email: RTASH@ColumbiaBuildersInc.com

Contractor Company: Columbia Builders, Inc.
Contact Person: Ron Tash
Address: P.O. Box 999
City: Columbia State: MD Zip Code: 21044
License No.: 254
Phone: 443-324-4725 Fax: 410-992-3020
Email: RTASH@ColumbiaBuildersInc.com

Engineer/Architect Company: D.W. Taylor & Assoc.
Responsible Design Prof.: Dan Taylor
Address: 5024 Dacey Hall Drive
City: Ellicott City State: MD Zip Code: 21042
Phone: 410-964-1181 Fax: 410-997-2924
Email: info@DWTaylor.com

Existing Use: VACANT LOT
Proposed Use: Construct New Single Family Home
Estimated Construction Cost: \$,200,000.-
Description of Work: Construct New Single Family Home
With 3-Bedrooms, 2 1/2 Baths unfinished
Rmt fireplace. Add a 3car Garage.
Occupant or Tenant:
Was tenant space previously occupied? Yes No
Contact Name:
Address:
City: State: Zip Code:
Phone: Fax:
Email:

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>46' x 62'</u>
Area of construction (sq. ft.):	2 nd floor: <u>40' x 44'</u>
Use group:	Basement: <u>40'4' x 44'</u>
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input checked="" type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Craw Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Wood Frame	No. of Bedrooms: <u>3</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
<u>N.A.</u>	<input type="checkbox"/> Manufactured Home

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <u>Propane</u> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>614000100</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Ron Tash
Print Name: Ron Tash
Email Address: RTASH@ColumbiaBuildersInc.com
Date: April 7, 2014
Title/Company: Agent / Columbia Builders, Inc.

RECEIVED
APR 07 2014
LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		<u>52714 P. Mathers</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

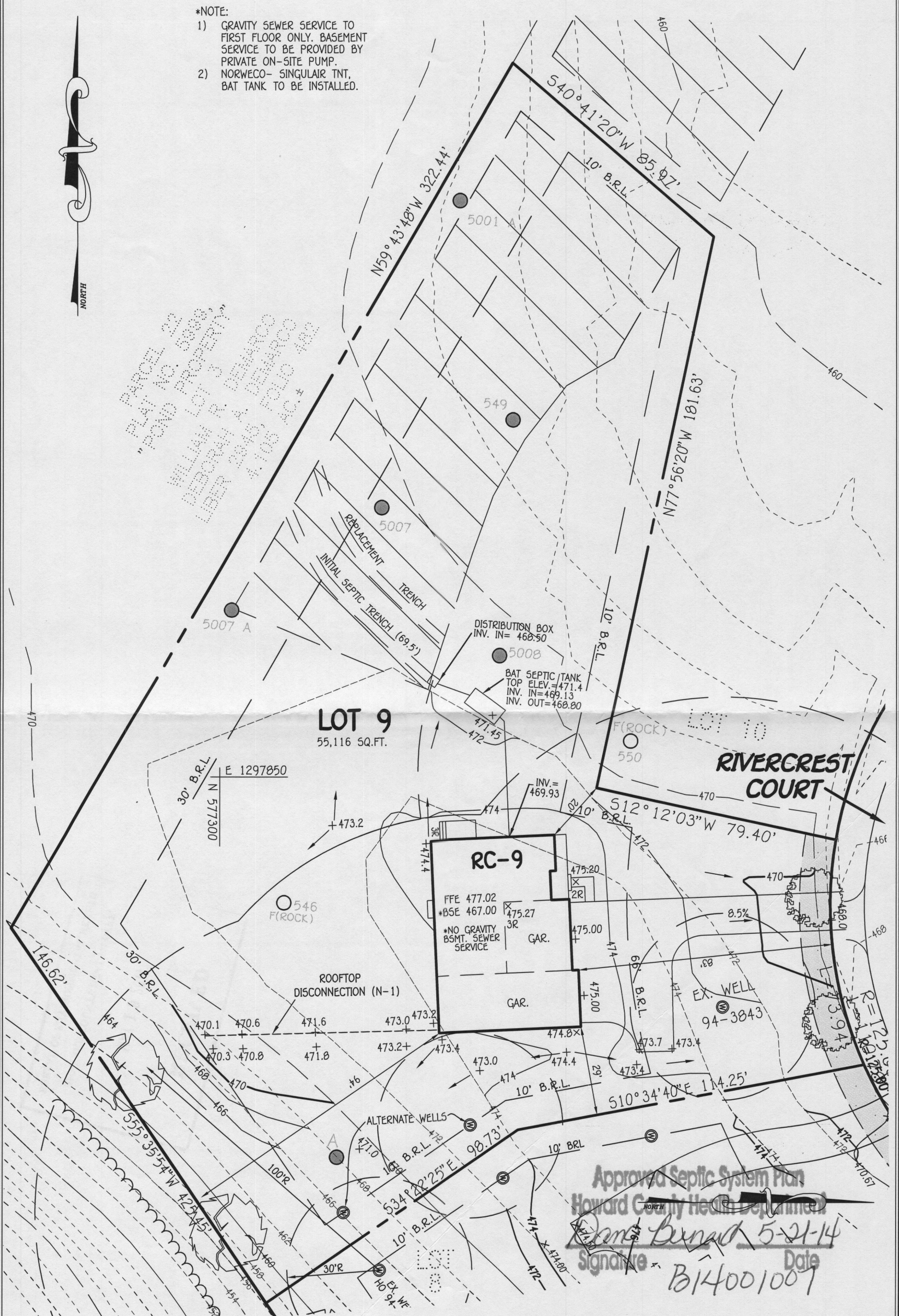
Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>4552</u>

***NOTE:**

- 1) GRAVITY SEWER SERVICE TO FIRST FLOOR ONLY. BASEMENT SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP.
- 2) NORWECO- SINGLAIR TNT, BAT TANK TO BE INSTALLED.



215888
 215889
 215890
 215891
 215892
 215893
 215894
 215895
 215896
 215897
 215898
 215899
 215900
 215901
 215902
 215903
 215904
 215905
 215906
 215907
 215908
 215909
 215910
 215911
 215912
 215913
 215914
 215915
 215916
 215917
 215918
 215919
 215920
 215921
 215922
 215923
 215924
 215925
 215926
 215927
 215928
 215929
 215930
 215931
 215932
 215933
 215934
 215935
 215936
 215937
 215938
 215939
 215940
 215941
 215942
 215943
 215944
 215945
 215946
 215947
 215948
 215949
 215950
 215951
 215952
 215953
 215954
 215955
 215956
 215957
 215958
 215959
 215960
 215961
 215962
 215963
 215964
 215965
 215966
 215967
 215968
 215969
 215970
 215971
 215972
 215973
 215974
 215975
 215976
 215977
 215978
 215979
 215980
 215981
 215982
 215983
 215984
 215985
 215986
 215987
 215988
 215989
 215990
 215991
 215992
 215993
 215994
 215995
 215996
 215997
 215998
 215999
 216000



Approved Septic System Plan
 Howard County Health Department
Dana Dunard 5-21-14
 Signature Date
 B14001007

WELL CERTIFICATION:

THE EXISTING WELL, TAG NO. HO-94-3893, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

**PERMIT PLAN
RIVERCREST
LOT 9**

ZONED: RC-DEO PLAT NO.: 18208 THRU 18210
 TAX MAP NO.: 21 GRID NO.: 20 PARCEL NO.: 04
 4TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: MAY, 2014
 SHEET 1 OF 1

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2855



Office of the Health Officer
8930 Stanford Blvd., Columbia, MD 21045
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

DATE: April 23, 2014

TO: Columbia Builders, Inc.
C/O Ron Tash
Via-e-mail: rtash@columbiabuildersinc.com

RE: **Building Permit # B14001007**
15416 Rivercrest Court
Brookville, Maryland 20833

Mr. Tash,

Further review is contingent upon submission of a revised building plan showing the following:

- As of January 1, 2013, all new construction is required to use the "Best Available Technology" (BAT) for septic installation. Before building permit approval, a BAT site plan must be submitted along with your building application and building plan.
- In addition to the BAT plan, we will need floor plans for the proposed house.
- An Operation and Maintenance Agreement for your BAT system will be required before use and occupancy.

Your building permit will be placed "on hold" until all Howard County Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Don Taylor @ info@DWTaylor.com
Well & Septic program file

1st GENERAL REQUIREMENTS 2012

1. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF AND / OR FLOOR TRUSSES.

2. DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE PRECEDENCE.

3. IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

4. ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.

5. PROVIDE 22 1/2" X 30" INSULATED & SEALED ACCESS TO ATTIC OR CRAWL SPACE WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.

6. PROVIDE HANDRAILS 34" - 38" ABOVE NOSINGS ON ALL STAIRS IN FOUR OR MORE RISERS. RETURN RAILS TO WALL OR RENEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIR. HANDRAILS MAY BE INTERRUPTED BY A RENEWEL AT A TURN. PROVIDE GUARDRAILS AT RASED FLOORS, BALCONIES, ETC., 30" OR MORE ABOVE GRADE OR FLOOR BELOW (WARDS SHALL BE MIN. 36" HIGH (UNLESS NOTED OTHERWISE) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE. HANDRAILS SHALL HAVE 1 1/2" X 2" GRIP CROSS SECTION AND BE 1 1/2" MAX. OFF WALL.

7. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHIMES, AND MIN-HEIGHT FOR WALLS OVER 4" TALL. FIRE CHALK BLOCKINGS AROUND WIRE, PIPE, & VENTS. IF OPEN WEB FLOOR TRUSSES ARE EXPOSED, PROVIDE 2" GYP. BRD. DRAFTSTOPPING, NOT TO EXCEED 1000 SF, UNLESS FULLY SPRINKLERED.

8. PROVIDE A MINIMUM OF 6" 4" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7.34" AND TREADS SHALL BE AT LEAST 10" WITH 1" NOSING UNLESS NOTED OTHERWISE IN DRAWINGS. MIN. HINDER TREADS SHALL BE 10" AT 1/2" FROM HAZARD END, NOT LESS THAN 6" AT ANY LOCATION. MAX. RISER AT EXTERIOR DOORS SHALL BE 7.34".

9. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS & MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.

10. SLOPE ALL CONCRETE STAIRS, PORCHES, WALLS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

11. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.

12. CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10 FEET, BUT NOT LESS THAN 3' AT POINT OF ROOF PENETRATION.

13. PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT CHIMELLY AND ATTIC WITH MINIMUM 5/8" GYPSUM BOARD ON GARAGE SIDE, AND 20 MINUTE SELF-CLOSING DOOR. WHEN BENEATH LIVING SPACE INSTALL 5/8" RATED G.B. ON CEILING & ALL SUPPORTING STRUCTURE.

SPECIFICATIONS:

1.01 GENERAL CONDITIONS

1.02 CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF THE CODES NOTED ON THE COVER SHEET AND ALL APPLICABLE LOCAL, CODES AND AMENDMENTS, AND FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.

1.03 ALL CONSTRUCTION SHALL BE CLASSIFIED AS NOTED ON THE COVER SHEET.

1.04 DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL GENERAL. CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

1.05 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND / OR OWNER.

SITE WORK

2.01 PROVIDE MIN. 4" HIGH NOISE BARRIERS CLEARLY VISIBLE FROM THE STREET

2.02 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSUITABLE MATERIAL (PROVIDING LESS THAN 500 PSF CAPACITY).

2.03 SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.

2.04 BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER, GRADED WITH POSITIVE SLOPE, MIN. 6" IN FIRST 12". FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 40% DENSITY AS PER ASTM D697 METHOD D.

2.05 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDERS DISCRETION.

2.06 PROVIDE PASSAGE UNDER SLAB RADON VENTING w/ MIN. 3" DIA. VENT THRU ROOF WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX F OF THE IRC. SEE NOTE 125

2.07 APPLY TERMITIDE WITHIN 2 FEET OF ENTIRE STRUCTURE IN ACCORDANCE WITH LOCAL AND APA STANDARDS. TREATMENT MUST HAVE 5 YEAR GUARANTEE.

2.08 EXTREME CARE AND PROPER MEASURES SHALL BE USED WHILE INSTALLING BACKFILL SO AS NOT TO DAMAGE, BLUR, OR TIP WALL. SHORING, BRACING, ETC. SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.

CONCRETE

3.01 CONCRETE WORK SHALL CONFORM TO THE LATEST

EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS. ACI 308-05 & 309-05

3.02 CONCRETE FOOTINGS SHALL HAVE MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED).

3.03 ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 2500 PSI.

3.04 FOUNDATION WALLS SHALL HAVE A MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 3000 PSI FOR MODERATE HEATER & 3500 PSI FOR SEVERE HEATER w/ 5/8" TO 7/8" AIR ENTAINMENT.

3.05 REINFORCING STEEL SHALL MEET ASTM A-65 AND A-305 MESH. 6/16 - 1 1/4 MIN. ASTM A-805 REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED ON THE COVER SHEET.

3.06 EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 5/8" TO 7/8" AIR ENTRAINED AND HAVE A MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 3000 PSI FOR MODERATE HEATER & 3500 PSI FOR SEVERE HEATER.

3.07 ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE W/F, CONTROL JOINTS, OR FIBER REINFORCEMENT. PROVIDE 1/2" EXPANSION MATERIAL AT ALL COLD POUR JOINTS.

3.08 PROVIDE VAPOR BARRIERS UNDER ALL SLABS, 6 MIL POLYETHYLENE LAP ALL EDGES 6", LAY OVER 4" POROUS FILL.

3.09 THE BOTTOM OF ANY FOOTING SHALL BE PLACED AT MINIMUM FROST DEPTH AS NOTED ON COVER SHEET.

3.10 POURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED 1/2" FROM INSIDE FACE OF WALL.

VERTICAL MASONRY

4.01 ALL MASONRY CONSTRUCTION & MATERIALS SHALL CONFORM TO ACI-530-05 & ACI-530J-05.

4.02 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING HEIGHTS ARE FOR UNREINFORCED WALLS AND WHERE BACKFILL SOIL PROVIDES MEDIUM TO POOR DRAINAGE.

TYPE OF WALL	HEIGHT OF FILL
8" CMU (BLOWN)	4'-0"
12" CMU (BLOWN)	5'-0"
12" CMU (SOLID)	6'-0"

HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION OR REINFORCING.

4.03 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE A SOLID BLOCK OR ASTM C-445, GRADE B STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000 PSI. 4.04 PORTLAND CEMENT FINISHING FROM FOOTING TO FINISHED GRADE.

4.05 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) 4#5 LINTEL FOR EACH 4" OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOP AND BOTTOM AND WITH #2 TIES SPACED 4" O.C., UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 6" BEARING AT EACH END. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.

4.06 USE TYPE "M" MORTAR FOR MASONRY IN CONTACT WITH EARTH.

4.07 USE TYPE "S" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.

4.08 MASONRY VENEER SHALL BE INSTALLED OVER A MOISTURE BARRIER OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND KEEPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE.

4.09 MASONRY VENEER SHALL BEAR ON MIN. 4" HIGH LEDGE w/ TIES TO BACK-UP AT 24" O.C. HORIZ. & 16" O.C. VERT. 1/2" FROM EDGE OF OPENING. VENEER SHOULD NOT EXCEED 30' ABOVE TOP OF FOUNDATION, EXCEPT GABLE ENDS MAY BE 30' MAX.

4.10 IF BRICK LEDGES ARE RECESSED INTO FOUNDATION WALLS, THE RESULTING STEM HALL SHALL BE MIN. 8" INCHES THICK FOR CMU WALLS AND 6" FOR POURED IN PLACE WALLS.

4.11 PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 30" O.C. MAINTAIN MIN. 1" HIGH AIR SPACE BETWEEN VENEER & SHEATHING.

4.12 BEAMS OR HEADERS BEARING ON MASONRY FIREWALLS SHALL HAVE MIN. 4" MASONRY SEPARATION FROM ADJACENT CHIMELLY, AND SHALL BE FIRE CUT.

4.13 MANUFACTURED "THIN" STONE VENEER SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND MERSO2

METALS

5.01 ALL STRUCTURAL STL. SHALL CONFORM TO ASTM SPECIFICATION A-36.

5.02 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" DIA. BOLTS PER SECTION OF PLATING, 1/2" FROM EACH END WITH INTERMEDIATE BOLTS AT 6"-0" O.C. MAXIMUM STRAP SPACING NOT TO EXCEED MANUFACTURER'S RECOMMENDATION REFER TO SHEET A-1.

5.03 METAL JOIST HANGERS SHALL BE USED AT ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR P.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER. ALUM. FLASHING SHALL NOT BE USED IN DIRECT CONTACT WITH P.T. LUMBER.

5.04 WALLS, USE NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARDS.

5.05 VENEER TIES SHALL BE 1" DIA, Z6GA, GALVANIZED STEEL. INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.

5.06 PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL SO IF NOT SPECIFICALLY DETAILED PROVIDE (1) STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END. HORIZONTAL LEGS SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.

5.07 LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):
L-1 3 1/2" X 3 1/2" X 5/16" STEEL ANGLE UP TO 3' OPG.
L-2 4" X 3 1/2" X 5/16" STEEL ANGLE 3' TO 5' OPG.

L-3 5" X 3 1/2" X 3/8" STEEL ANGLE 5' TO 6'-6" OPG.
L-4 6" X 3 1/2" X 1/2" STEEL ANGLE UP TO 9' OPG.

5.08 LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.

5.09 ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.

5.10 COAT ALL FERROUS METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS, WITH RUST INHIBITIVE PAINT.

5.11 ADJUSTABLE STEEL COLUMN SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZES SPECIFIED AND SECURED AT BOTH ENDS.

5.12 MOOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 1/2" DIA. BOLTS AT 24" STAGGERED O.C.

WOOD

6.01 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND STORE IN DRY LOCATION.

6.02 DRY TREATED LUMBER SHALL CONFORM WITH ANPA-144 FOR THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. TREAT ALL FIELD CUTS PER ANPA M-4.

6.03 JOISTS AND GIRDERS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. NEW FIR AND SERVICE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 18%.

6.04 PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURER'S SHOP DRAWINGS SHOW OTHERWISE.

6.05 WHEN ENGINEERED BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSJ, THEY ARE INTERCHANGEABLE. MIN FIB = 2600 PSF. NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECT'S APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

6.06 BEARING WALL FRAMING SHALL BE MINIMUM 5/8" STUD AND 10" OR BETTER AT 16" O.C. LAP ALL DOUBLE TOP PLATE JOISTS A MIN. OF 24".

6.07 EXTERIOR WALLS UP TO 12' SUPPORTING (1) FLOOR & ROOF MAY BE 2X4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2X6 @ 16" O.C. COMPLY W/ IRC-802.23

6.08 INTERIOR NON-BEARING WALLS MAY BE 5/8" 2X4 STUDS, 24" O.C.

6.09 LATERAL EXTERIOR WALL BRACING SHALL BE PROVIDED BY CONTINUOUS, APPROVED STRUCTURAL SHEATHING INSTALLED WITH 8# NAILS @ 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD. BRACED PANELS TO BE SECURED TO SOLID FIRM OR BLOCKING WITH (2) 16# WALLS AT 16" O.C.

6.10 INTERIOR BRACED WALL LINES SHALL BE SECURED TOP AND BOTTOM TO CONTINUOUS JOIST OR SOLID BLOCKING AT 16" O.C. PER IRC 802.2.6.6.

6.11 DESIGN, FABRICATION AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TP-1-2002. STRUCTURAL DESIGN OR MODIFICATION SHALL BE BY A REGISTERED PROFESSIONAL ENGINEER.

6.12 BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH THE APPLICABLE SHOP DRAWINGS AND THE TRUSS

PLATE INSTITUTE, INC. PUBLICATION, ECOSH-028. INSTALL MIN. OF (2) 2X4 DIAGONAL BRACES AT APPROX. 45 DEGREES, FROM BOTTOM CHORD TO RIDGE IN EACH ROOF SECTION.

6.13 ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.

6.14 PLYWOOD SHEATHING SHALL BE GLUED AND NAILED TO JOISTS IN ACCORDANCE WITH APA RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION OR AS PER MANUF. RECOMMENDATIONS.

6.15 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY). LEAVE 1/8" SPACE AT PANEL ENDS.

6.16 REFERENCE TO NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS:
3/4" = 23/32" APA RATED STURD-FLOOR 24 O.C. EXPOSURE
5/8" = 19/32" APA RATED STURD-FLOOR 24 O.C. EXPOSURE

1/2" = 15/32" APA RATED SHEATHING 32#6 EXPOSURE
3/8" = 1/8" RATED SHEATHING (3/8) 24#6 EXPOSURE

PROFESSIONAL CORPORATION I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3267-16, EXPIRATION DATE 10/31/16.

dw taylor
associates, inc
ARCHITECT

5024 DORSEY HALL DR. SUITE 203 ELLICOTT CITY, MD 21042
P: (410) 864 1181 F: (410) 897 2924 www.dwtaylor.com

BID & PERMIT

REVISIONS	
date	remarks

drawn by	TRM	checked by	dh-12
scale	NA	date	7-23-12

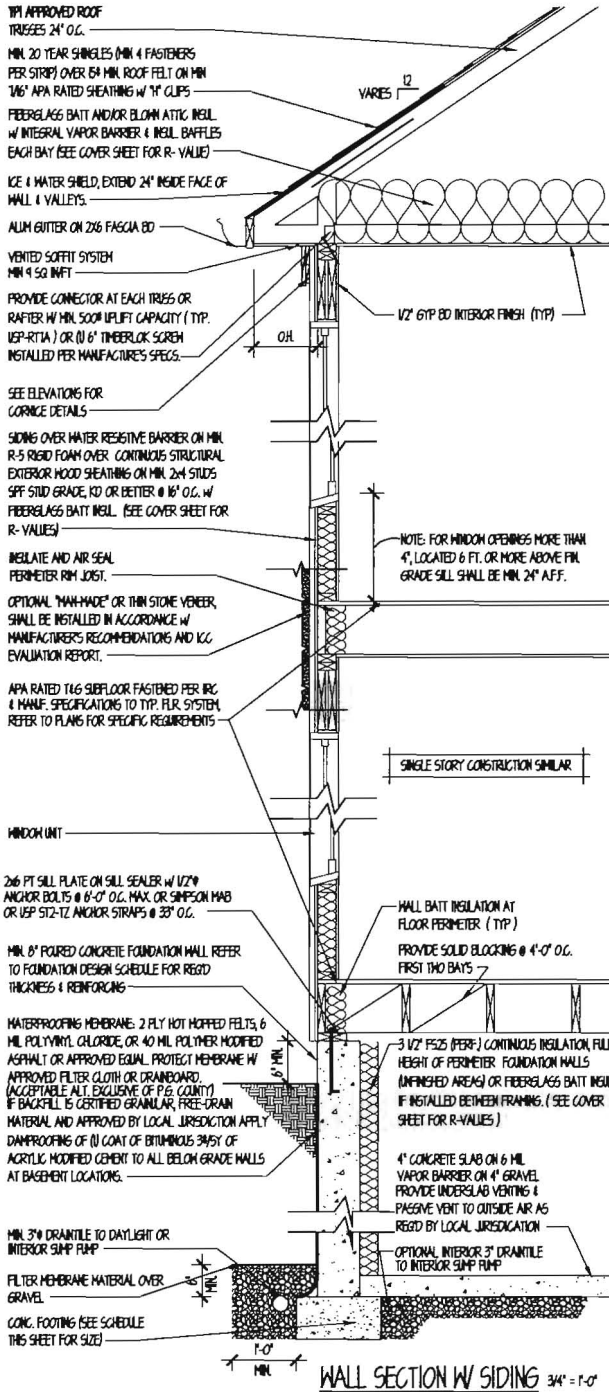
PROJECT TITLE

**COLUMBIA BUILDER'S
R.G. LOT #1**

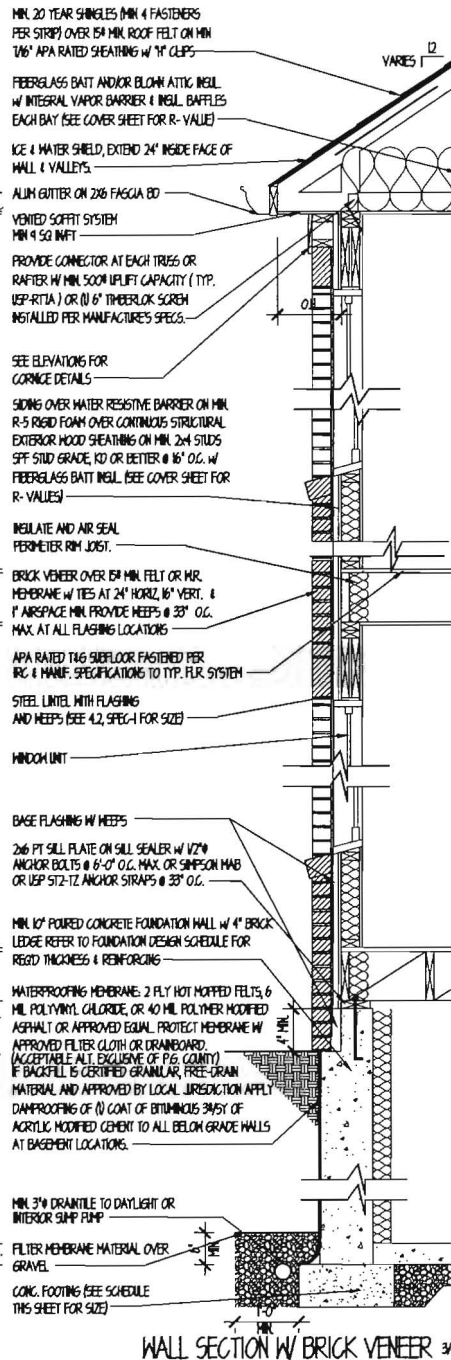
CONTENT

**RESIDENTIAL 2012 IRC
SPECIFICATIONS**

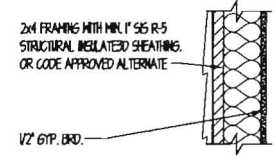
PROJECT NUMBER	DRAWING NUMBER
1340	SPEC-1



WALL SECTION W/ SIDING 3/4" = 1'-0"



WALL SECTION W/ BRICK VENEER 3/4" = 1'-0"



ALT. WALL SECTION

SUPPORTING LIGHT FRAME	MINIMUM WIDTH OF PER-METER FOOTINGS (INCHES)		
	500 PSF	2000 PSF	3000 PSF
ROOF ONLY	12	12	12
1 FLOOR & ROOF	16	12	12
2 FLOORS & ROOF	24	16	12
SUPPORTING LIGHT FRAME W/ 4" BRICK VENEER	SOIL BEARING CAPACITY		
	500 PSF	2000 PSF	3000 PSF
ROOF ONLY	14	14	14
1 FLOOR & ROOF	21	16	14
2 FLOORS & ROOF	32	24	16

NOTE: MINIMUM FOOTING THICKNESS SHALL BE 8 INCHES, 12" WITH FOOTING OVER 24" WIDE

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNEARTHED BACKFILL HEIGHT (FEET)	MINIMUM FOUNDATION WALL THICKNESS AND REINFORCING - ACI-308-II					
		SOIL CLASSES AND DESIGN LATERAL SOIL (PSF PER FOOT OF DEPTH)		MINIMUM WALL THICKNESS (NOMINAL)			
		GM, GP, SM, AND SP 30	GM, GG, SM, SH-5G, AND MH 45	SC, ML-CU, AND INORGANIC CL 60			
		8"	10"	8"	10"	10"	12"
8	6	PC	PC	PC	PC	PC	PC
	7	PC	PC	PC	PC	PC	PC
9	7	PC	PC	PC	PC	PC	PC
	8	PC	PC	PC	PC	PC	PC
10	8	PC	PC	PC	PC	PC	PC
	9	PC	PC	PC	PC	PC	PC

* REINFORCING MAY BE OMITTED IF CONCRETE COMPRESSIVE STRENGTH IS INCREASED TO 3500 PSI

- NOTE:
1. MINIMUM 10" WALL THICKNESS REQUIRED WITH BRICK VENEER.
 2. PC = PLAIN UN-REINFORCED CONCRETE WALL.
 3. CONCRETE SHALL BE MINIMUM 3000 PSI, AIR ENTRAINMENT.
 4. REINFORCING TO BE MINIMUM 40# PLACED 1/2" FROM INSIDE WALL FACE.
 5. FOR GRAM. SPACE CONDITIONS 6" PC MAX HEIGHT OF 6' W/ 4" OF BACKFILL (ALL SOILS)

PLAN KEY	MAX. VERT. LOAD (POUNDS)	MAX. COL. HEIGHT (INCHES)	COLUMN SIZE	FOOTING SIZE (INCHES)		
				500 PSF SOIL	2000 PSF SOIL	3000 PSF SOIL
▲	15,400	100	3" 1/2" dia.	36x36x42	32x32x44	26x26x42
▲	17,500	100	3 1/2" dia.	42x42x42	36x36x46	30x30x42
▲	25,000	100	4" dia.	48x48x42	40x40x48	33x33x46
▲	32,400	100	3" 5/8" dia.	56x56x36	50x50x42	40x40x48

FOOTING SIZES ARE BASED ON PLAIN CONCRETE, DEPTHS MAY BE REDUCED TO 12 INCHES BY USING #5 BARS AT 8" O.C., EACH WAY, 3" FROM BOTTOM.

NOTE: FOR PRINCE GEORGE COUNTY, MD. SEE SHEET PG-II

FOUNDATION DESIGN CRITERIA

NOTE: DESIGN CRITERIA AND DETAILS ARE BASED ON IRC VALUES - LOCAL BUILDING OFFICIAL MAY PERMIT LESS RESTRICTIVE METHODS AND/OR PROCEDURES BASED ON LOCAL CONDITIONS AND EXPERIENCE.

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE # 3367-R, EXPIRATION DATE 10/31/15

dw taylor
associates, inc
ARCHITECT

5024 DORSEY HILL DR. SUITE 303 ELLICOTT CITY, MD 21104
 P: (410) 864-1181 F: (410) 997-2824 www.dwtaylor.com

BID & PERMIT

REVISIONS	DATE	REMARKS

Drawn by: TRH checked by: d4-12

Scale: NOTED date: 7-23-12

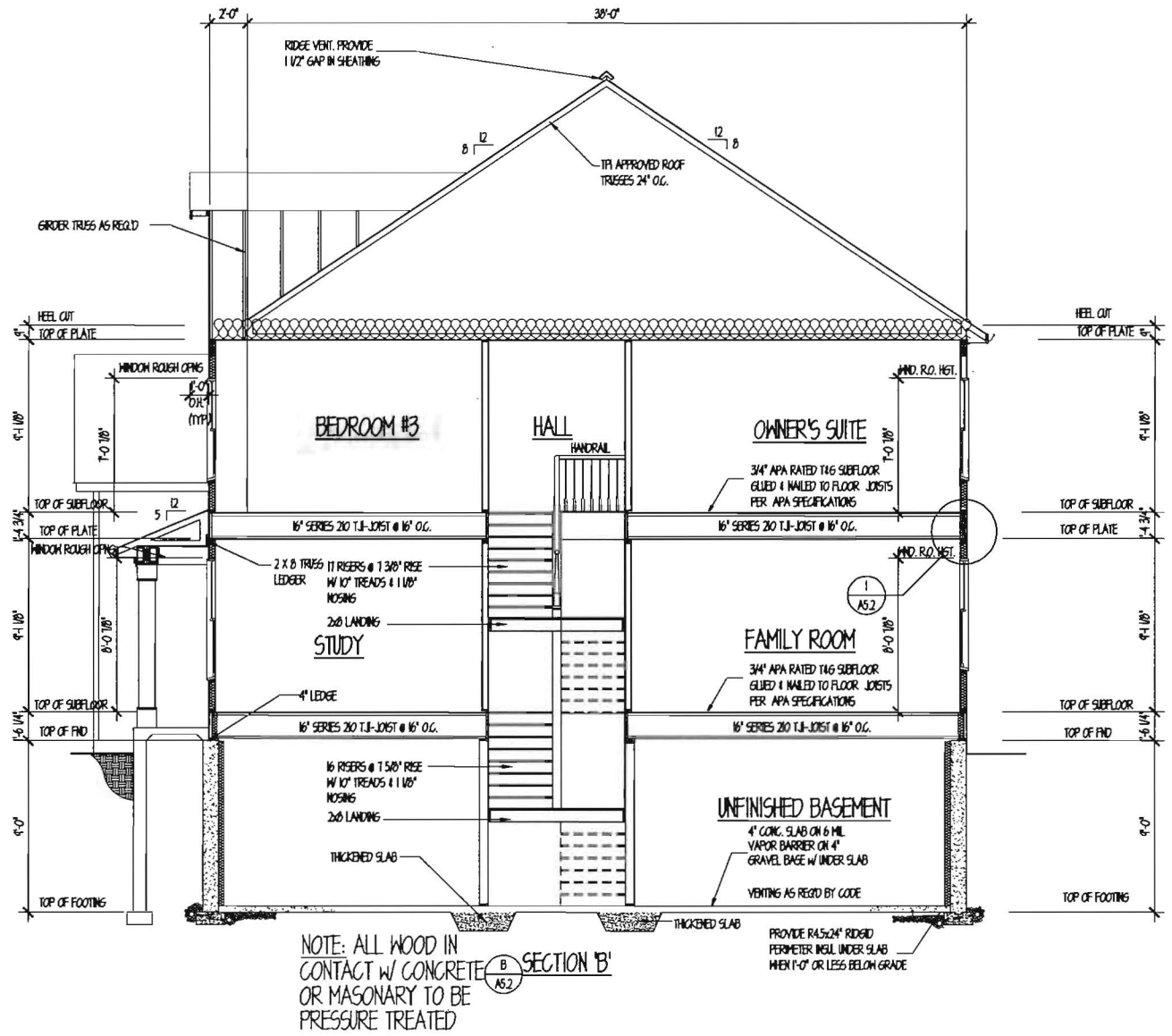
PROJECT TITLE

COLUMBIA BUILDER'S
R.C. LOT #9

CONTENT

WALL SECTIONS
2 STORY-2x4

PROJECT NUMBER	DRAWING NUMBER
1340	AD-1



NOTE: ALL WOOD IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED

PROVIDE R4.5/24\"/>

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3307-R, EXPIRATION DATE 10/7/15

dw taylor
 associates inc
 ARCHITECT

5024 DORSEY HALL DR. SUITE 203 ELLETTT CITY, MD 21042
 P: (410) 964-1181 F: (410) 997-2324 www.dwtaylor.com

BID & PERMIT

REVISIONS	
date	remarks

drawn by	BB	checked by	TCM 2-15-2014
scale	1/4" = 1'-0"	date	02-20-2014

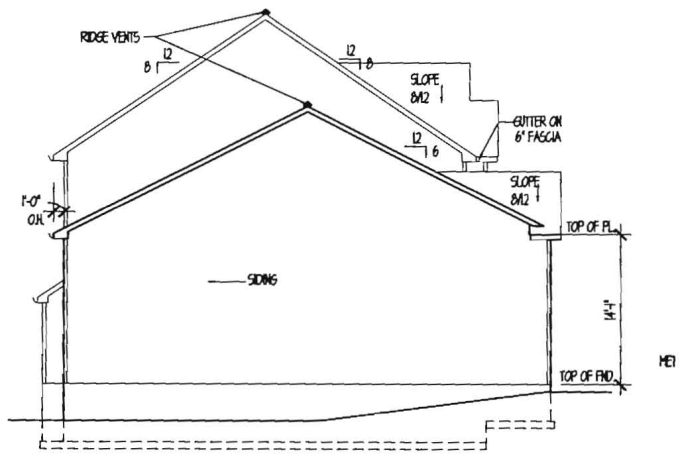
PROJECT TITLE

**COLUMBIA BUILDER'S
 R.C. LOT #1**

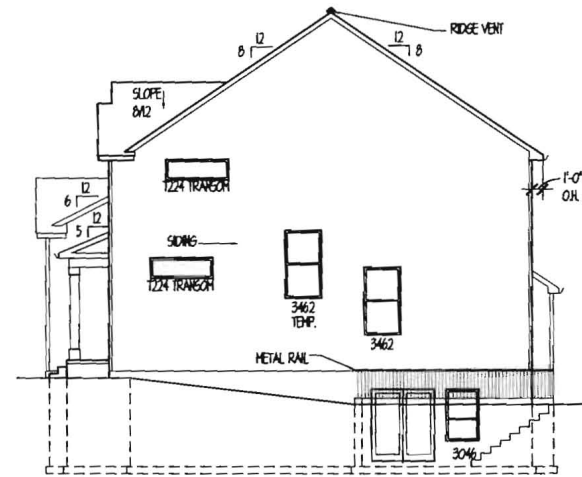
CONTENT

SECTION 'B'

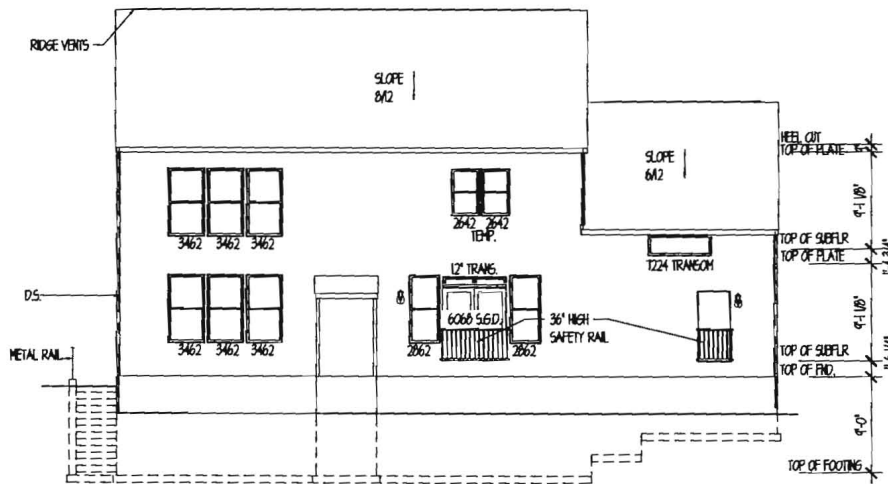
PROJECT NUMBER	DRAWING NUMBER
1340	A5.2



LEFT SIDE ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTHEAST, LICENSE # 3387-R, EXPIRATION DATE 10/7/15

dw taylor
associates inc
ARCHITECT

5024 DORSET HALL DR. SUITE 203 ELIJAH CITY, MD 21042
P: (410) 864-1181 F: (410) 997-2294 www.dwtaylor.com

BID & PERMIT

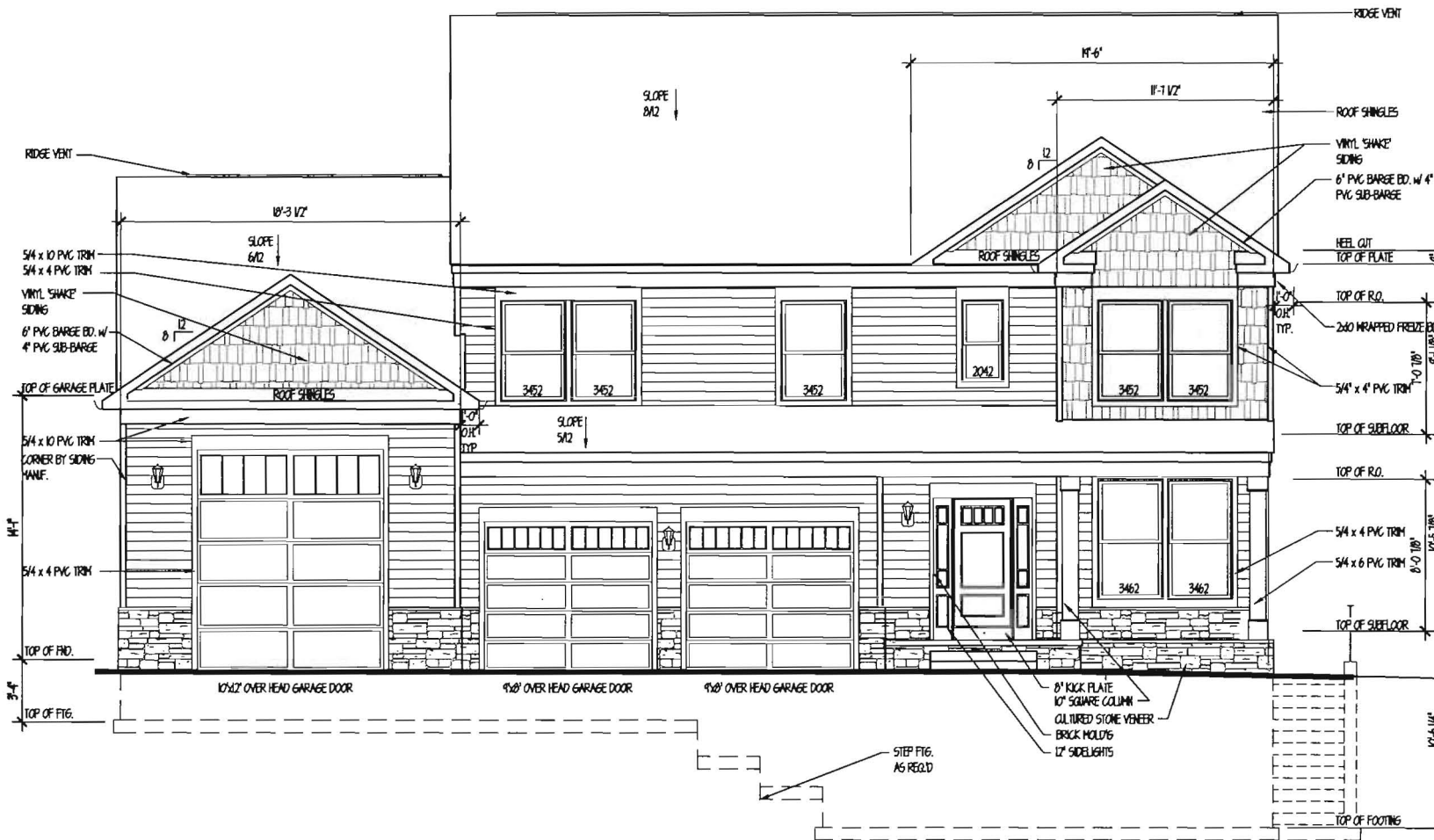
REVISIONS	
DATE	REVISIONS

Drawn by	EB	Checked by	TOM 2-18-2004
Scale	1/8" = 1'-0"	Date	02-20-2004

PROJECT TITLE
COLUMBIA BUILDER'S R.C. #19

CONTENT
LEFT, RIGHT, & REAR ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
1340	A1.2



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3387-R, EXPIRATION DATE 10/7/15

dw taylor
 associates inc
 ARCHITECT

3024 BORSLEY HALL DR. SUITE 203 ELLETTT CITY, MD 21042
 P. (410) 864-1181 F. (410) 897-2224 www.dwtaylor.com

BID & PERMIT

REVISIONS	
date	remarks

drawn by	BB	checked by	TCM 2-28-2014
scale	1/4" = 1'-0"	date	02-20-2014

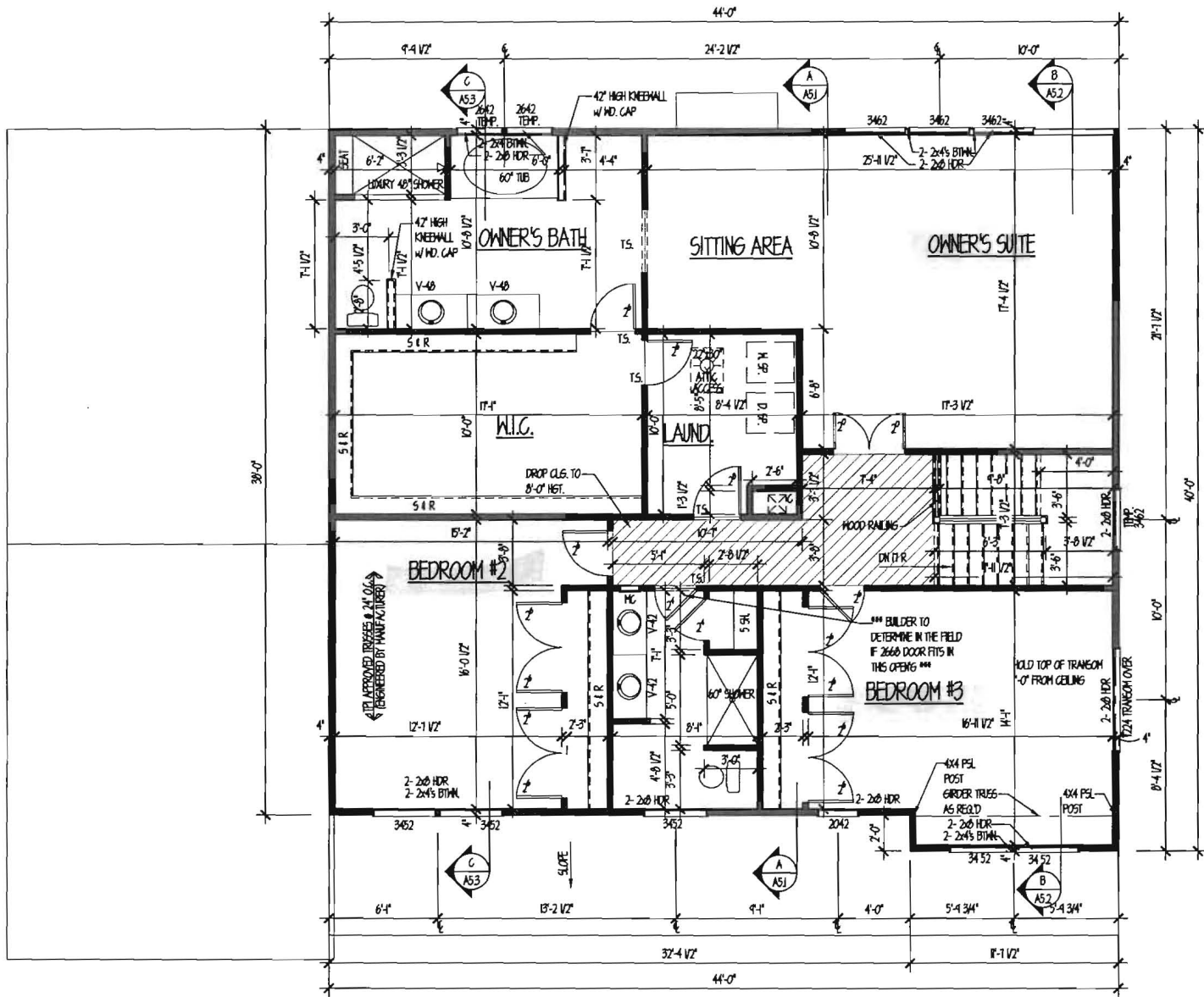
PROJECT TITLE

**COLUMBIA BUILDER'S
 R.C. LOT #1**

CONTENT

FRONT ELEVATION

PROJECT NUMBER	DRAWING NUMBER
1340	A.1



SECOND FLOOR PLAN
640 Sq. Ft.

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3367-A, EXPIRATION DATE 10/27/15.

dw taylor
associates, inc
ARCHITECT

5024 DORSET HALL DR. SUITE 203 ELICOTT CITY, MD 21042
P: (410) 864-1181 F: (410) 867-2524 www.dwtaylor.com

BID & PERMIT

REVISIONS	
date	remarks

drawn by	BB	checked by	TOM 2-18-2004
scale	1/4" = 1'-0"	date	02-20-2004

PROJECT TITLE

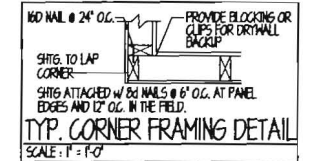
COLUMBIA BUILDER'S
R.C. LOT #19

CONTENT

SECOND FLOOR PLAN

PROJECT NUMBER	DRAWING NUMBER
1340	A4.1

THIS DRAWING SHOWS BRACED WALL LINES WITH CONTINUOUS STRUCTURAL PANEL SHEATHING (CS-HEP) (---) MEETING THE MINIMUM REQUIREMENTS OF SECTION R602.04.2 OF THE IRC.



ALL DESIGNATED EXTERIOR BRACED WALLS SHALL BE A MINIMUM 1/2\"/>

DESIGNATED NARROW HALL BRACING, WHERE SHOWN (CS-PF) SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS ON SHEET R40-3a, R40-3b.



1D BOOM TENSION HOLD DOWN STRAP
 ● SIMPSON STRAP 2X LAGS W/ 4-12S WALLS EACH END

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3387-R, EXPIRATION DATE 10/27/15

dw taylor
 associates inc
 ARCHITECT

5024 DORSEY HALL DR. SUITE 303 ELLICOTT CITY, MD 21042
 P: (410) 564-1181 F: (410) 987-2924 www.dwtaylor.com

BID & PERMIT

REVISIONS	
date	remarks

Drawn by: EB	checked by: TOM
scale: 1/4" = 1'-0"	date: 02-20-2014

PROJECT TITLE

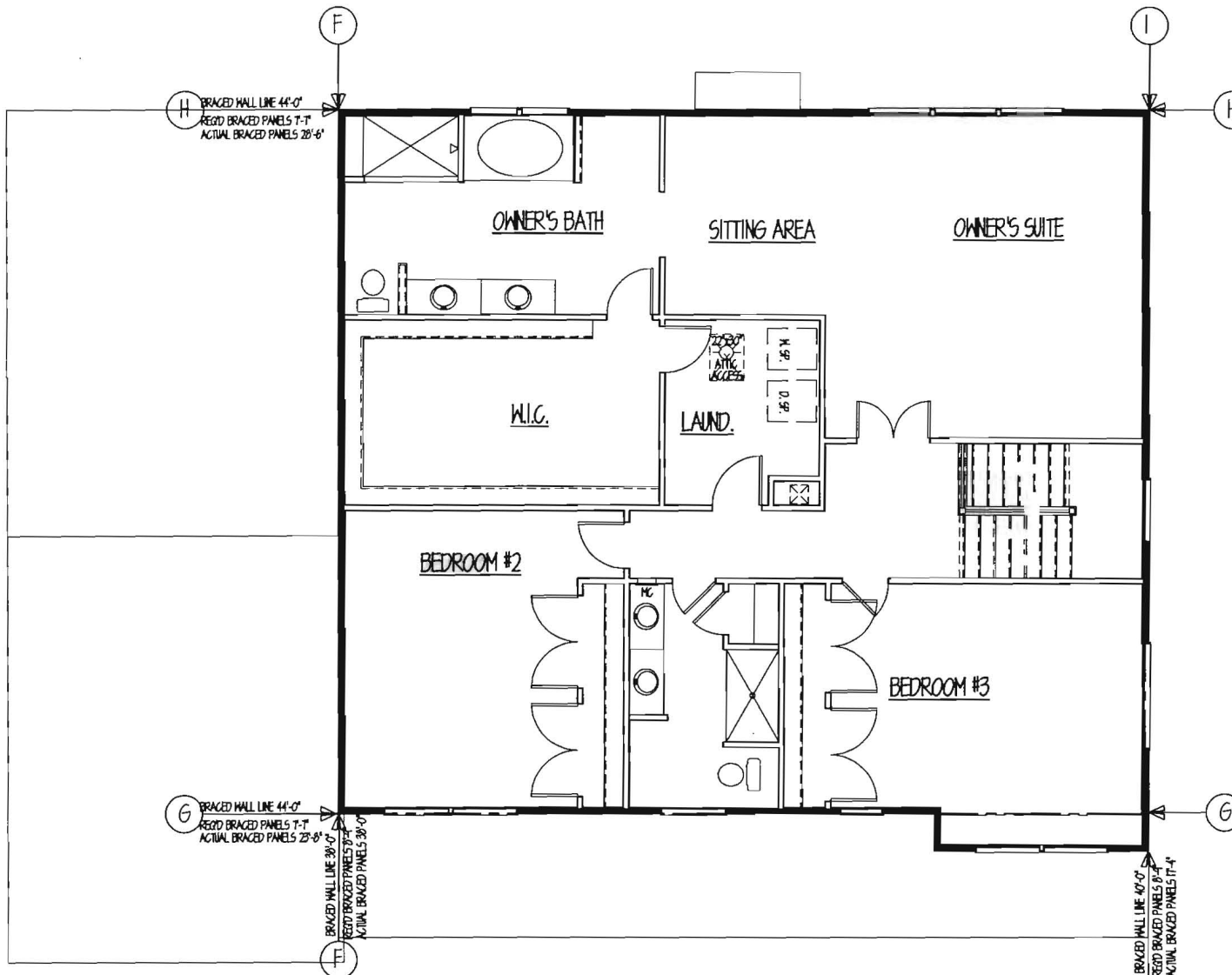
**COLUMBIA BUILDER'S
 R.C. LOT #9**

CONTENT

**SECOND FLOOR
 WINDBRACING PLAN**

PROJECT NUMBER DRAWING NUMBER

1340 52



SECOND FLOOR PLAN
 1640 Sq. Ft.



Tolil Architecture
 A Tolil Brothers, Inc. Company
 • CHARLOTTE • SEATTLE •
 • PHILADELPHIA • WASHINGTON, D.C. •
 EASTERN DIVISION: ORDERS 800-834-5555 FAX 301-291-5151
 2 NORTH • 2000 KENNESAW • WASHINGTON, D.C. 20001

DESIGNED BY
 D-PARTNER
 CHECKED BY
 T-LAMER
 SCALE
 AS NOTED

SHEET DATE
 08/07/14
 SHEET REVISION INFO

SFT REVISION INFO

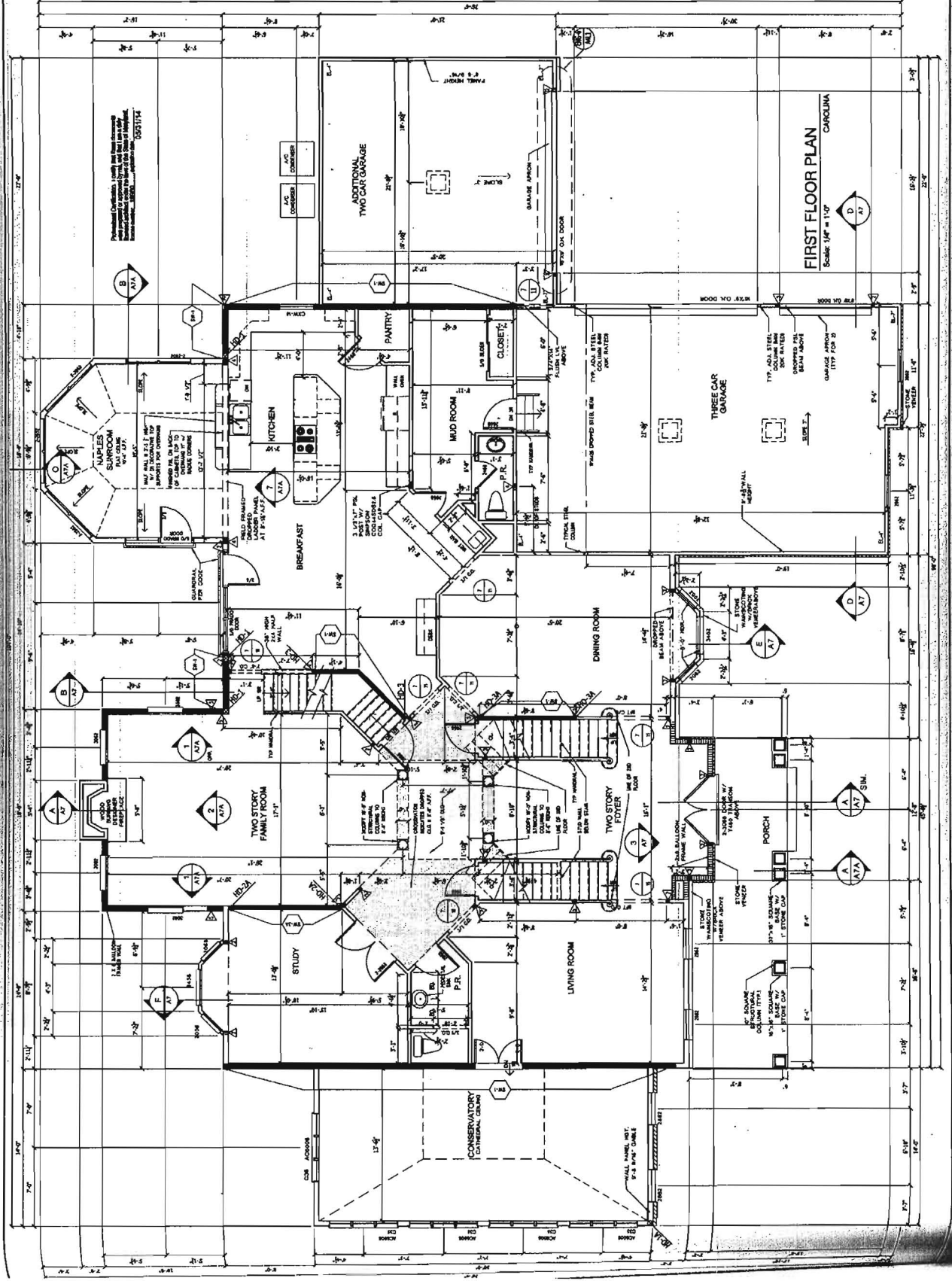
SHEET DESCRIPTION
FIRST FLOOR PLAN

PRODUCT LINE
 ESTATE
 MODEL/PROJECT NAME
HAMPTON
 ELEVATION NAME
 CAROLINA

SHEET NUMBER
A2

SERIAL NUMBER
 10093.0

RIGHT HAND SET CATALOG OVERLOOK - LOT#005 - AO#83455



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"
 CAROLINA

Professional Certification: I certify that these drawings were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 0055174



Toll Architecture

A. J. Thompson, Inc. Company
 ■ BALTIMORE ■ DALLAS ■
 ■ OAKLAND ■ SEATTLE ■
 EASTERN DIVISION: 10000 W. 41st Street, Suite 100
 ■ MOBILE ■ ANN ARBOR, MI ■

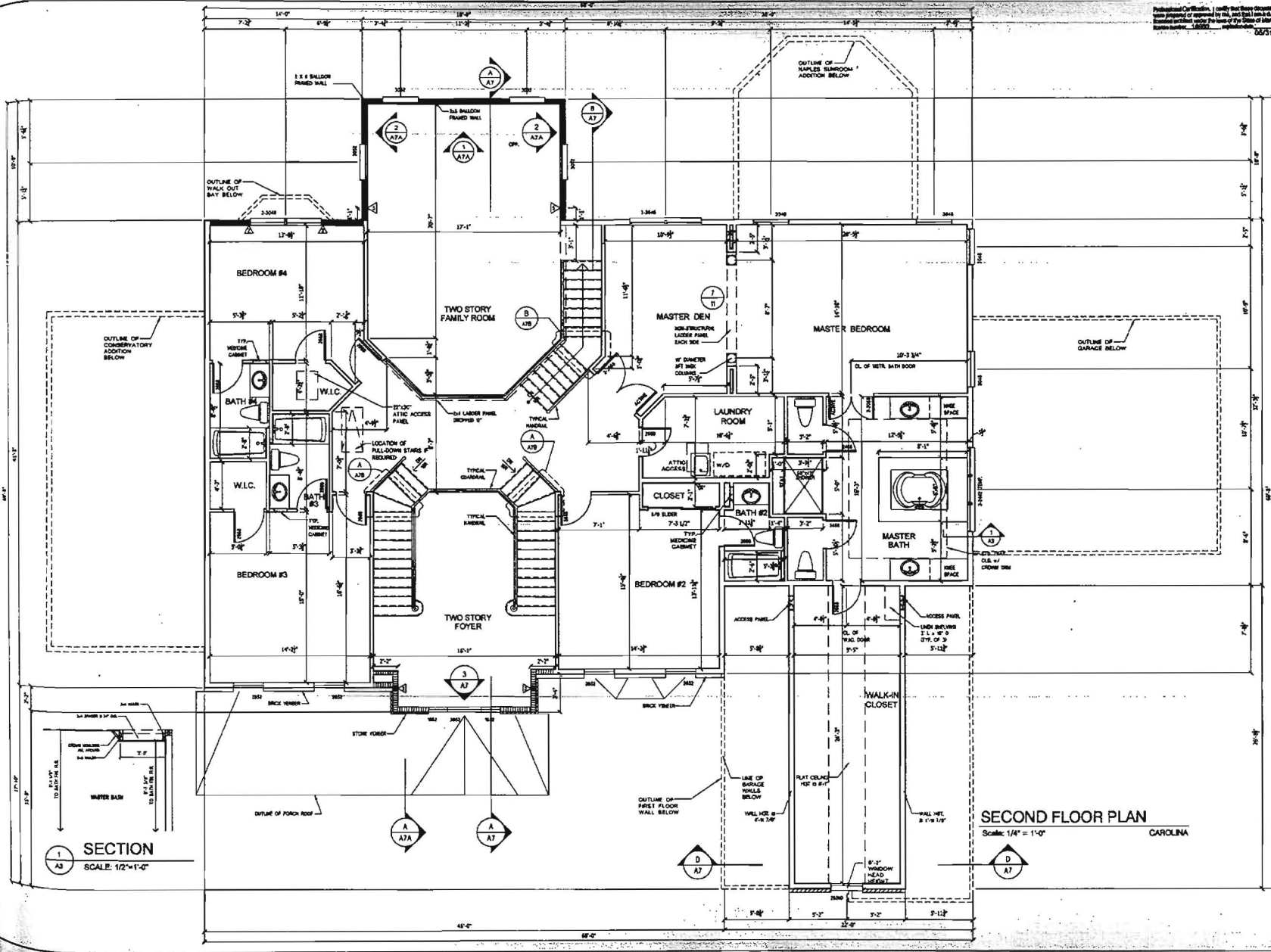
DRAWN BY
 D. PAINTER
 CHECKED BY
 T. BAKER
 SCALE
 AS NOTED
 SHEET DATE
 03/07/14
 SHEET REVISION INFO

SHEET DESCRIPTION
SECOND FLOOR PLAN

PRODUCT LINE
 ESTATE
 MODEL/PROJECT NAME
HAMPTON
 ELEVATION NAME
 CAROLINA

SHEET NUMBER
A3
 SERIAL NUMBER 1009.0

RIGHT HAND SET - CATALOG OVERLOOK - LOT#005 - AQ#83455



SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"
 CAROLINA

SECTION 1
 SCALE: 1/2" = 1'-0"