

Building Address: 12270 Carroll Mill Rd
Ellicott City 21043

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: 603000 Subdivision: Carroll Mill

Section: _____ Area: _____ Lot: 2

Tax Map: 22 Parcel: _____ Grid: 22-6

Zoning: SR-20 Map Coordinates: _____ Lot Size: 3,314

Existing Use: Front concrete stoop

Proposed Use: Build roof over stoop

Estimated Construction Cost: \$ 5,000.00

Description of Work: Construct a 13'x5' porch roof over existing stoop

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: Rich Urian

Address: 12270 Carroll Mill Rd

City: Ellicott City State: MD Zip Code: 21043

Home Phone: _____ Work Phone: _____

Applicant's Name & Mailing Address, (If other than stated herein):
Same as Contractor below

Phone: _____ Fax: _____

Email: _____

Contractor Company: Covey Const & Consulting LLC

Contact Person: Ayan Covey

Address: 5900 Woodloch Dr

City: Ellicott City State: MD Zip Code: 21043

License No.: MNEL 129119

Phone: 410-984-2824 Fax: _____

Email: CoveyConsulting@gmail.com

Engineer/Architect Company: _____

Responsible Design Prof.: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

BUILDING DESCRIPTION - COMMERCIAL	
Building Characteristics	Utilities
Height:	<u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.):	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group:	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> Roadside Tree Project Permit	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
Roadside Tree Project Permit #	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics	Utilities
<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
<u>Depth</u> <u>Width</u>	<input type="checkbox"/> Public
1 st floor:	<input checked="" type="checkbox"/> Private
2 nd floor:	<u>Sewage Disposal</u>
Basement:	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms:	<input type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units:	<input type="checkbox"/> Natural Gas
No. of 1 BR units:	<input type="checkbox"/> Propane Gas
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> Roadside Tree Project Permit
Roof:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	<u>Roadside Tree Project Permit #</u>
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: Ayan Covey

Email Address: CoveyConsulting@gmail.com Date: 3/8/12

Title/Company: Covey

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/8/12</u>	<u>Wesley Snel</u>
Fire Protection		

DPZ SETBACK INFORMATION

Front: _____

Rear: _____

Side: _____

Side St.: _____

All minimum setbacks met? Yes No

Is Entrance Permit Required? Yes No

Historic District? Yes No

Lot Coverage for New Town Zone: _____

SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$

SITE PLAN

Scale = 50 scale = 30'

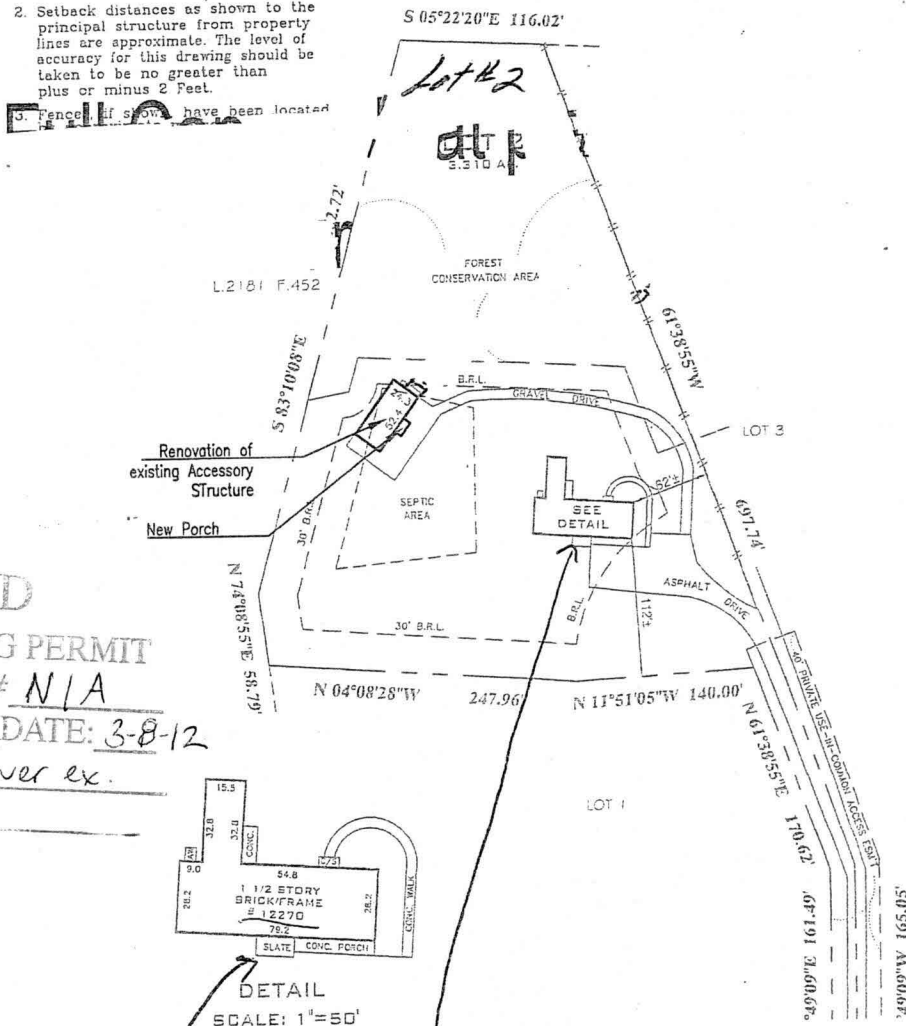
12270 Carroll Manor Rd
 Ellicott City, MD 21042

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Notes

1. Flood zone "C" per H.U.D. panel No. 0021B.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.
3. Fences if shown have been located.



APPROVED

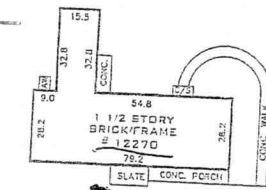
WALK-THRU BUILDING PERMIT

BP# _____ A# N/A

APP. SAN HS DATE: 3-8-12

DESC. OF WORK: root over ex.

Stoop



DETAIL
 SCALE: 1"=50'

13' x 8' Root over existing Stoop

Building Address: 12270 Carroll Mill Rd.
Ellicott City, MD 21042

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: 603000 Subdivision: _____

Section: _____ Area: _____ Lot: #2

Tax Map: 22 Parcel: _____ Grid: 22-6

Zoning: RC-122 Map Coordinates: _____ Lot Size: _____

Existing Use: _____

Proposed Use: SFD W/DECK

Estimated Construction Cost: \$ 5,000

Description of Work: Build new 10x15' Deck w/Steps

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: Rich & Dawn Urman

Address: 12270 Carroll Mill Rd

City: Ellicott City State: MD Zip Code: 21042

Home Phone: _____ Work Phone: _____

Applicant's Name & Mailing Address, (If other than stated herein):
Cory Construction & Consulting LLC
5900 Rockledge Dr #202 Clarksville 21029

Phone: 410-954-2824 Fax: _____

Email: coryconsulting@gmail.com

Contractor Company: Cory Construction & Consulting

Contact Person: Lynn Corey

Address: 5900 Rockledge Dr #202

City: Clarksville State: MD Zip Code: 21029

License No.: MHC #129119 + MHB #1437

Phone: 410-954-2824 Fax: _____

Email: coryconsulting@gmail.com

Engineer/Architect Company: _____

Responsible Design Prof.: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

BUILDING DESCRIPTION - COMMERCIAL	
Building Characteristics	Utilities
Height:	<u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.):	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group:	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
<u>Roadside Tree Project Permit #</u>	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics	Utilities
<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
Depth Width	<input type="checkbox"/> Public
1 st floor: <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Private
2 nd floor: <input checked="" type="checkbox"/>	<u>Sewage Disposal</u>
Basement:	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms:	<input type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units:	<input type="checkbox"/> Natural Gas
No. of 1 BR units:	<input type="checkbox"/> Propane Gas
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>
Roof:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	<u>Roadside Tree Project Permit #</u>
<input type="checkbox"/> Manufactured Home	

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Applicant's Signature: [Signature] Print Name: Lynn Corey

Email Address: coryconsulting@gmail.com Date: 9/10/11

Title/Company: _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10-3-11</u>	<u>[Signature]</u>
Fire Protection		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START
 ONE STOP SHOP

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$

is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its connection with contemplated transfer, financing or re-financing.

is not to be relied upon for the establishment or location of fences, garages, buildings, or other or future improvements.

does not provide for the accurate identification of property boundary lines, but such identification be required for the transfer of title or securing financing or re-financing.

line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

REVISED PERCOLATION CERTIFICATION PLAN

1" = 100

S 05°22'20"E 116.02'



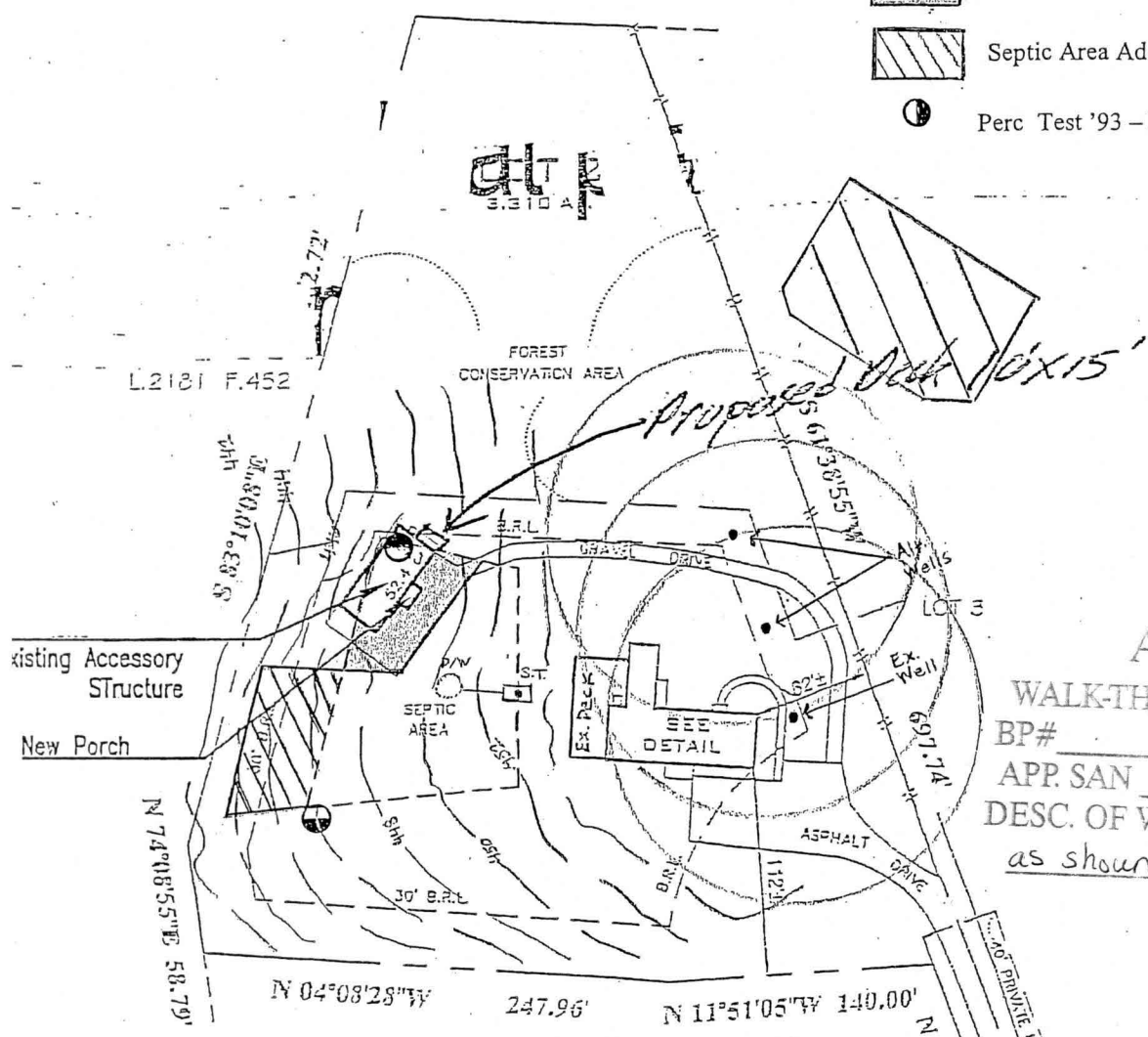
Septic Area Removed



Septic Area Added

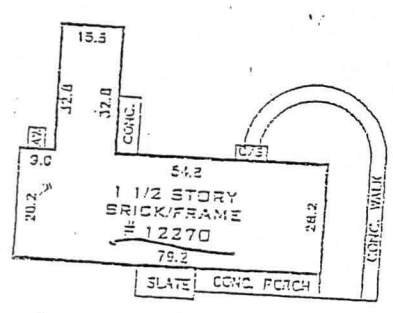


Perc Test '93 - Pass



APPROVED
 WALK-THRU BUILDING PERMIT
 BP# _____ A# N/A
 APP. SAN HS DATE: 10-3-1
 DESC. OF WORK: 10' x 15' deck
 as shown for accessory structure

12270 Carroll Mill Road



DETAIL

Permits: 410-313-2455
 Inspections: 410-313-1810
 Automated Line: 410-313-3800

Howard County Building/Fire Permit Application
 Department of Inspections, Licenses & Permits
 3430 Court House Drive
 Ellicott City, MD 21043

Permit Number:

B11001749

Building Address: 12270 Carroll Mill Rd
Ellicott City MD 21042

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: _____ Subdivision: _____

Section: _____ Area: _____ Lot: _____

Tax Map: _____ Parcel: _____ Grid: _____

Zoning: RR Map Coordinates: _____ Lot Size: _____

Existing Use: Accessory Structure

Proposed Use: Accessory Structure

Estimated Construction Cost: \$ 100,000

Description of Work: Interior Renovation and
Enhancement of Exterior *11/00/11*

Occupant or Tenant: N/A

Was tenant space previously occupied? Yes No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: Rich & Dawn Urian

Address: 12270 Carroll Mill Rd

City: Ellicott City State: MD Zip Code: 21042

Home Phone: 410 531-2001 Work Phone: _____

Applicant's Name & Mailing Address, (if other than stated herein): _____

Phone: _____ Fax: _____

Email: _____

Contractor Company: Owner

Contact Person: Rich Urian

Address: same as above

City: _____ State: _____ Zip Code: _____

License No.: _____

Phone: _____ Fax: _____

Email: _____

Engineer/Architect Company: KGRW & Associates LLC

Responsible Design Prof.: Architect

Address: 3706 Greenway Dr

City: Ellicott City State: MD Zip Code: 21042

Phone: 410-207-4381 Fax: 1986

Email: robert.weaver@kg-rw.com

BUILDING DESCRIPTION - COMMERCIAL	
Building Characteristics	Utilities
Height:	<u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.):	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group:	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
<u>Roadside Tree Project Permit #</u>	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics	Utilities
<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
<u>Depth</u> <u>Width</u>	<input type="checkbox"/> Public
1 st floor: <u>6x4 Awning 24x56</u>	<input checked="" type="checkbox"/> Private
2 nd floor: <u>6x4 Awning 24x56</u>	<u>Sewage Disposal</u>
Basement:	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms: <u>0</u>	<input checked="" type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units:	<input type="checkbox"/> Natural Gas
No. of 1 BR units:	<input type="checkbox"/> Propane Gas
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>
Roof:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	<u>Roadside Tree Project Permit #</u>
<input type="checkbox"/> Manufactured Home	

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Applicant's Signature: *Robert Weaver*

Email Address: robert.weaver@kg-rw.com

Title/Company: Principal KGRW & Associates, LLC

Print Name: Robert Weaver

Date: 6/9/11

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials	<u>6-13-11</u>	<u>[Signature]</u>
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>6-15-11</u>	<u>[Signature]</u>
Fire Protection		

DPZ SETBACK INFORMATION

Front: _____

Rear: _____

Side: _____

Side St.: _____

All minimum setbacks met? Yes No

Is Entrance Permit Required? Yes No

Historic District? Yes No

Lot Coverage for New Town Zone: _____

SDP/Red-line approval date: _____

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$ <u>100.00</u>
Tech Fee	\$ <u>10.00</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$

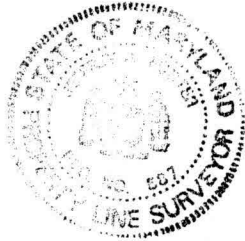
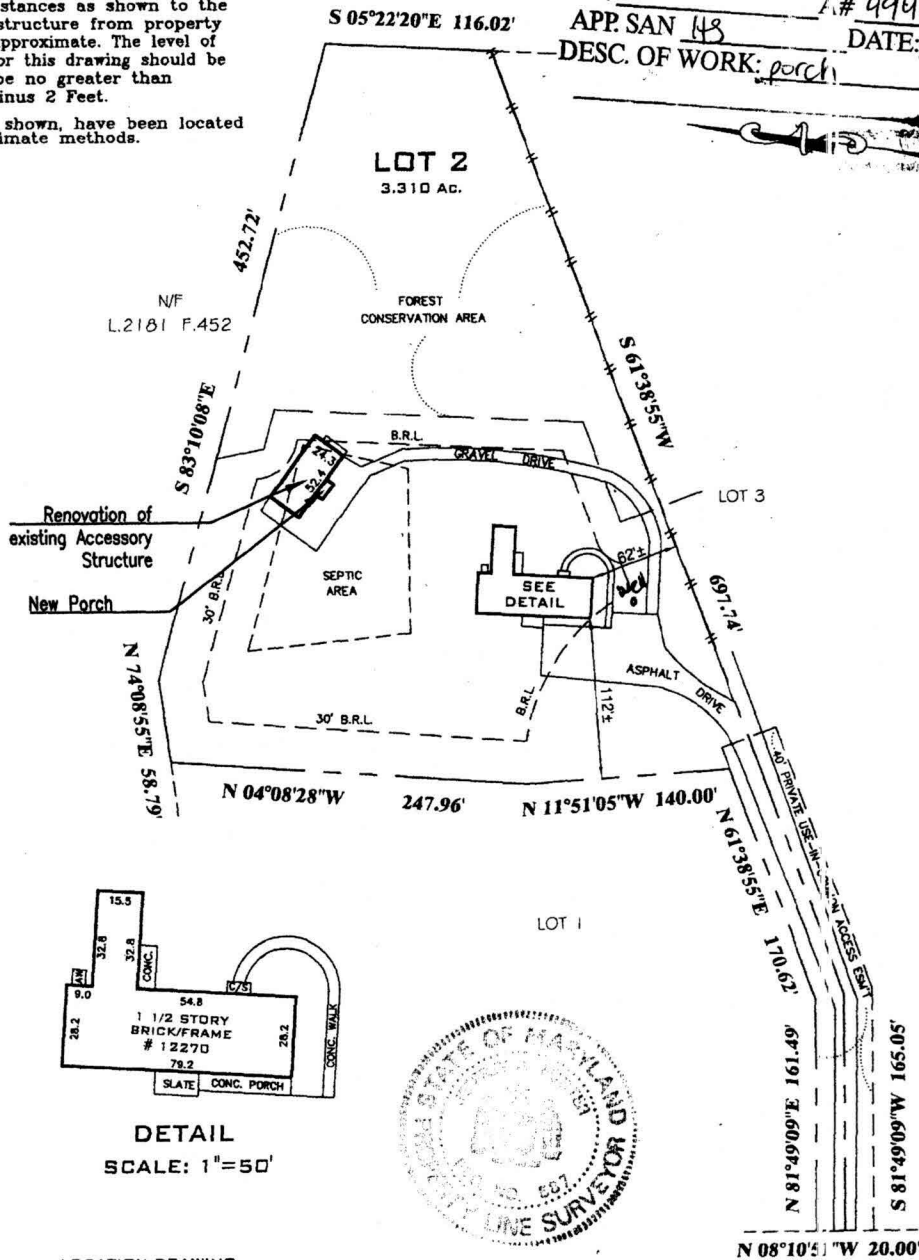
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Notes

1. Flood zone "C" per H.U.D. panel No. 0021B.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.
3. Fences, if shown, have been located by approximate methods.

APPROVED
WALK-THRU BUILDING PERMIT
 BP# _____ A# 49423
 APP. SAN 48 DATE: 07-5-11
 DESC. OF WORK: porch





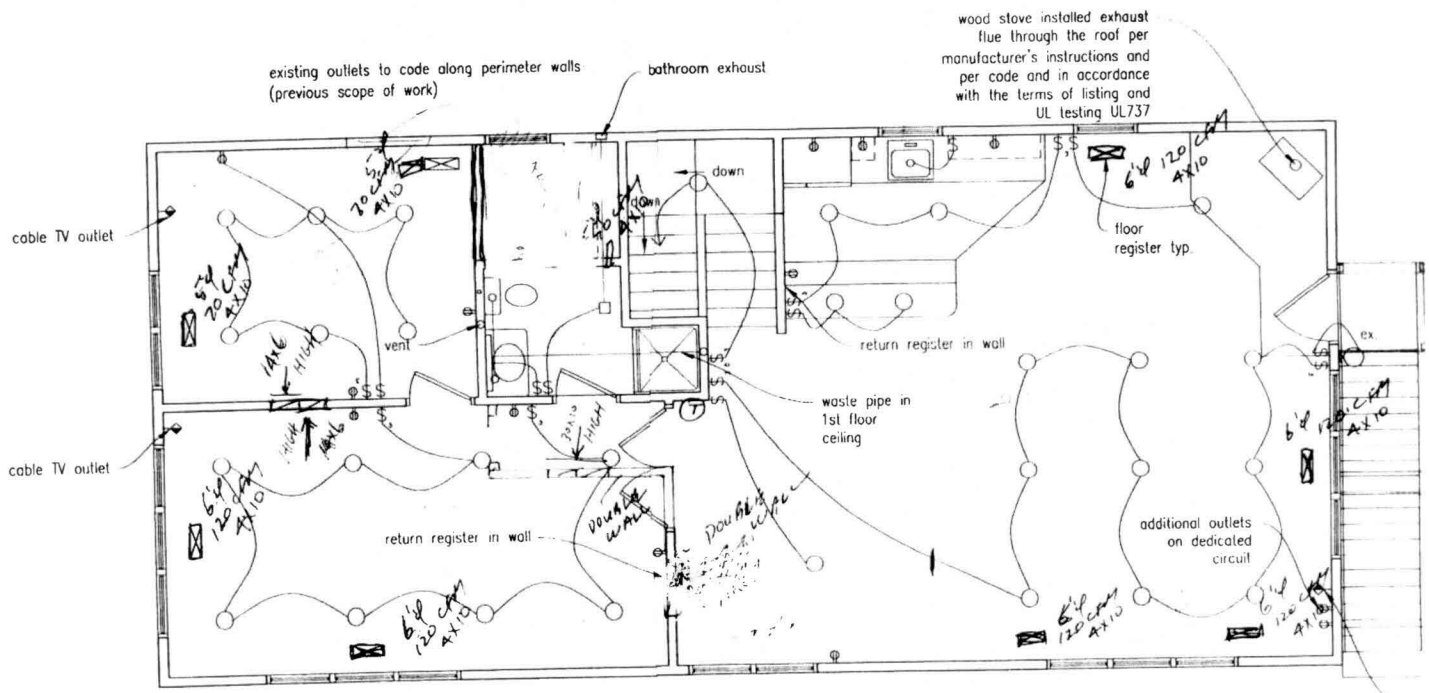
LOCATION DRAWING

LOT 2

CARROLL MILL SUBDIVISION

HOWARD COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 218 Gaithersburg, Maryland 20878 301/948-5100, Fax 301/948-1288	
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."		PLAT BK.		DATE OF LOCATIONS	SCALE:
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 507		PLAT NO. 11006	WALL CHECK:	DRAWN BY:	F.A.
		LIBER	HSE. LOC.: 08-23-2005	JOB NO.:	2005- 6318
		FOLIO			



5167
 Design Fabricators, Inc.
 8301 Mapleville Road
 Mt. Airy, MD 21771

Luke R. Mask, Jr.
 LUKE R. MASK, JR.
 NORTH ↑

12270 CARROLL MILL RD
 ELLICOTT CITY, MD, 21042

BLD# PERMIT
 B11001749

M12000000

existing outlets to code along perimeter walls
(previous scope of work)

bathroom exhaust
to septic



existing water supply;
extend to powder room
and bar sink within
insulated cavity w/heat
trace

HVAC air handler

plumbing waste riser

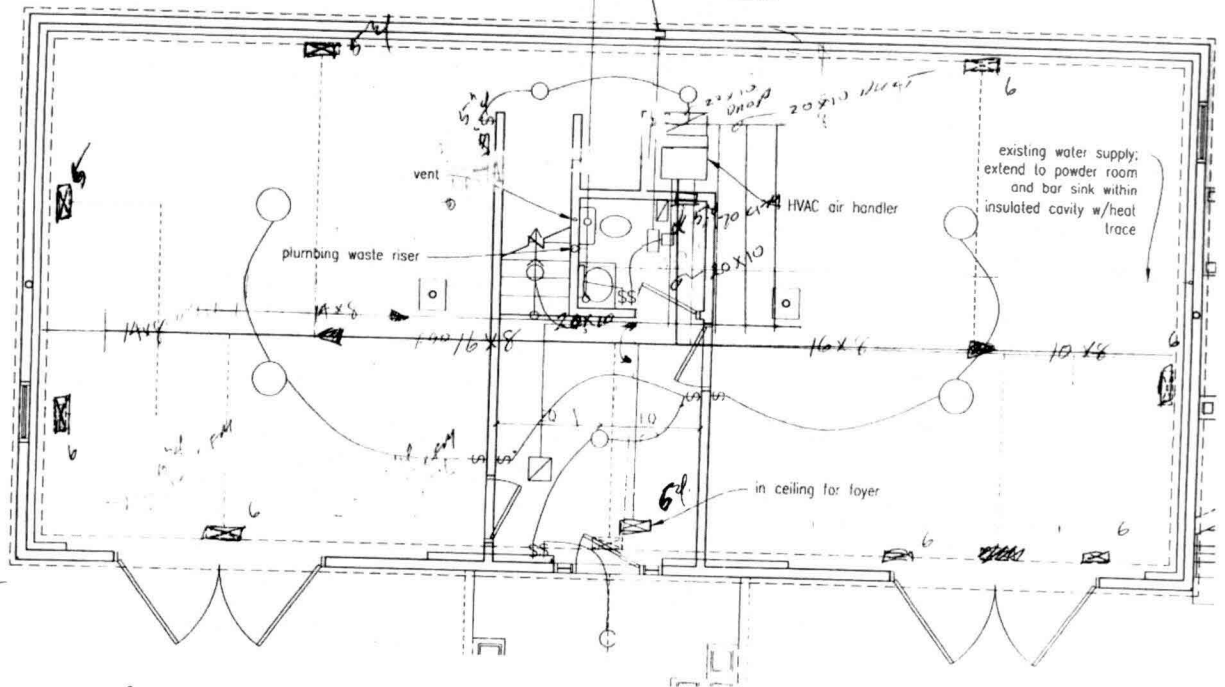
vent

in ceiling for dryer

5167

Design Fabricators, Inc.
8301 Mapleville Road
Mt. Airy, MD 21771

LUKE R. MASK, JR.
Luke R. Mask, Jr.
NORTH ↑
1/8" = 1'-0" SCALE



12270 CARROLL MILL RD
ELLCOTT CITY, MD 21042

PLUMBING & GAS

HOWARD COUNTY PERMIT APPLICATION

DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043

P 12000231

DATE ISSUED

(410) 313-2455 PERMITS (410) 313-1840 INSPECTIONS

(PLEASE PRINT)

BUILDING PERMIT NO. B11001749

SEWER CONTRACT NO.

WATER CONTRACT NO.

BUILDING ADDRESS (HOUSE NO., STREET, TOWN, ZIP CODE) 12270 Carroll Mill E.C. Md. 21042

APPLICATION IS HEREBY MADE TO PERFORM THE WORK HEREIN DESCRIBED: Plumbing

LOT NO. SUITE NO. PROPERTY I.D. CENSUS TRACT MAP COORDINATES IMPROVEMENT TYPE / USE TYPE NEW EXISTING

PLUMBER / GAS FITTER / UTILITY CONTRACTOR NAME & ADDRESS, PHONE NO. Do-It Plumbing & Heating LLC 9955 Old Mill Rd. E.C. Md. 21042

OWNER'S NAME AND ADDRESS PHONE NO. 12270 Carroll Mill E.C. Md. 21042

OCCUPANT

Table with columns for INSTALL, R1, TYPE OF FIXTURE, FLOOR (B, 1-7), and FIXTURE SUBTOTAL. Includes rows for BathTubs, Showers, Urinals, Lavatories, Water Closets, Kitchen Sinks, Dishwashers, etc.

Table for pipe and material specifications: SANITARY SEWER - PIPE SIZE(S) two inch, MATERIAL(S) PVC, LENGTH 100ft, \$ 60.00. WATER SUPPLY - PIPE SIZE(S) one inch, MATERIAL(S) Poly, LENGTH 100ft, \$ 0.00.

GAS (NATURAL / 2PSI NATURAL / PROPANE / 2PSI PROPANE / OIL) PIPE SIZE(S): RANGES WATER HEATER FURNACES BOILERS FIREPLACES NEW METER REQ. UNIT HEATERS ROOF TOP UNITS GAS LOGS OUTSIDE GRILL METER UPGRADE REQ. STANDARD LOW PRESSURE OTHER TOTAL BTU'S NEITHER

I HAVE CAREFULLY EXAMINED AND READ THIS APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT, AND THAT IN DOING THIS WORK, ALL PROVISIONS OF HOWARD COUNTY ORDINANCES AND THE STATE LAWS OF MARYLAND WILL BE COMPLIED WITH...

PLUMBER/GASFITTER/UTILITY CONTRACTOR SIGNATURE do-it-plumbing@hotmail.com EMAIL ADDRESS 21899 PRINT NAME / LICENSE NUMBER

APPROVED (BUILDING OFFICIAL) DATE APPROVED (LICENSES & PERMITS DIVISION) DATE

TOTAL \$ 116.00 CASH RECEIPT NO. CHECK NO. 2411 DATE

Howard County Government
Department of Inspections, Licenses & Permits
3430 Court House Drive
Ellicott City, MD 21043
410-313-2455

Building Permit No.: B11001749
 Construction Address: 12270 Cassell Mill Rd. Ellicott City MD 21042
 Street City State Zip Code

EQUIPMENT TO BE INSTALLED

Service Equipment (AMP size): 150 Amp Feeder (AMP size): 150AMP

	Quantity		Quantity	Quantity	
Smoke Detectors (120 Volts)	<u>2</u>	Switches	<u>27</u>	Receptacle	<u>27</u>
Fixtures: Med Base	<u>37</u>	Fixtures: Fluores	<u> </u>	Fixtures: Area Light	<u> </u>
Fixtures: Swim Pool	<u> </u>	Fixtures: H.I.D.	<u>4</u>	Electric Heat	<u>1 10</u> KW
Surface Unit	<u> </u> KW	Oven	<u> </u> KW	Range	<u> </u> KW
Dishwasher	<u> </u> KW	Water Heater	<u>1 4.5</u> KW	Dryer	<u> </u> KW
Air Conditioner	<u>1 3</u> TON	Walk In box	<u> </u> HP	Burn/Wiring/Controls	<u> </u> AMP
Garbage Disposal	<u> </u> HP	Air Handling	<u>1 1/2</u> HP	Transformers	<u> </u> KVA
Elevators	<u> </u> HP	Signs	<u> </u> AMP	Others	<u> </u>
Motors	<u> </u> HP	Resistance Heat	<u> </u> KW		

Additional Equipment/Comments: ~~100~~ Repair existing 100 AMP Feeder to Detached Auxillary ^{Sub} Structure with new 150 Amp ^{Sub} Feeder and load center

Total Number of Low Voltage Devices: 3

Data / Computer	<u> </u>	Interior Low Voltage Custom	<u> </u>
Fire Alarms / Carbon Dioxide	<u> </u>	Landscaping Lighting	<u> </u>
Fire Alarms / Horn Strobes	<u> </u>	Phone	<u> </u>
Fire Alarms / Keypads	<u> </u>	Security / Cameras	<u> </u>
Fire Alarms / Pullstations	<u> </u>	Security / Card Readers	<u> </u>
Fire Alarms / Smoke Detectors	<u> </u>	Security / Contacts	<u> </u>
Fire Alarms / Strobes	<u> </u>	Security / Control Panels	<u> </u>
Home Theatre / Audio Visual	<u> </u>	Security / Monitors	<u> </u>
Home Theatre / Flat Panels	<u> </u>	Security / Motion Detectors	<u> </u>
Home Theatre / Projectors	<u> </u>	Speakers	<u> </u>
Home Theatre / Speakers	<u> </u>	Temperature Control	<u> </u>
Intercom	<u> </u>	TV / Cable	<u>3</u>

NO ELECTRICAL WORK SHALL COMMENCE PRIOR TO THE ISSUANCE OF THE ELECTRICAL PERMIT

PROJECT: Urian Residence Assessory Structure Renovation 12270 Carroll Mill Road Ellicott City MD 21042

OWNER:
Richard & Dawn Urian
12270 Carroll Mill Road
Ellicott City, MD, 21042
Phone: ----

ARCHITECT:
KGRW & Associates, LLC
3306 Greenway Drive
Ellicott City, MD, 21042
Phone: 410-207-4381

GENERAL NOTES

- These documents have been prepared for the project named. They are not to be used with any other projects without the expressed written permission and participation of KGRW & Associates LLC. Reproduction is prohibited.
- The Contractor shall construct in the best and most workmanlike manner, complete buildings and do everything properly incidental thereto, as shown on plans, stated in specification, as recommended by product manufacturers, and in accordance with Contract Documents. All labor, materials, equipments and services required to fully carry out and complete the intentions of the plans shall be considered part of this contract, whether or not specifically mentioned herein.
- Field verify dimensions. Notify architect of discrepancies prior to commencing work.
- The drawings are diagrammatic and outline in nature. They represent, schematically and symbolically, common construction practice.
- Do not scale drawings. Dimensions take precedence over drawings, alignment relationships take precedence over dimensions. Large scale details shall govern over plans and elevations. Dimensions are typically to finished face of construction UNO.
- It is intended that the General Contractor provide a complete job and any omissions in these notes or in the outline of work shall not be construed as relieving the General Contractor of such responsibilities implied by the scope of work except for items specifically noted.
- Sections and details show typical products and assemblies. Each product indicated therein shall be assumed continuous throughout all parts of the project where the section or the detail applies.
- Special products and workmanship shall be added at corners and intersections to provide structural integrity, weather-tightness and good appearance.
- Only major fastenings and accessories are indicated in the Contract Documents. Provide all such items as needed to produce a firmly-fastened, smoothly-functioning, weather-tight project of good appearance.
- Monitor quality control over supplies, manufacturers, products, services, subcontractors, site conditions and workmanship, to produce work of specified quality. Comply fully with manufacturers' instructions and specified standards, as a minimum quality for the work, except when more stringent tolerances, codes or specified requirements indicate higher standards or more precise workmanship.
- All work shall be in strict accordance with applicable ordinances, regulations and building codes.
- Contractor shall be responsible for obtaining all permits to perform this work (except architect shall apply for initial building permit for expediting schedule). Contractor shall notify all public or private utility companies 48 hours prior to commencement of work adjacent to existing utility lines.
- Prior to the start of construction, contractor shall notify underground service alert for the location of existing utility facilities.
- Demolition: General Contractor to remove existing materials as noted. Insure shoring or planned construction such as structural lintels and headers are in place prior to removal of existing material. Repair adj. material affected by demolition to as new state.
- General Contractor to furnish and install all partition blocking and other reinforcing where indicated on the drawings or where required for adequate support of new work.
- Existing conditions shown on the drawings are for the convenience of the Contractor and may not represent actual conditions. The contractor shall verify all topography numbers and conditions on the site before setting floor elevations.
- All exterior trim pieces (ie fascia, wrapped lumber, etc) are to be maintenance free material (Azek or approved equal).
- The contractor shall provide a one-year guarantee for all workmanship, materials and products. Provide copies of all warranties.

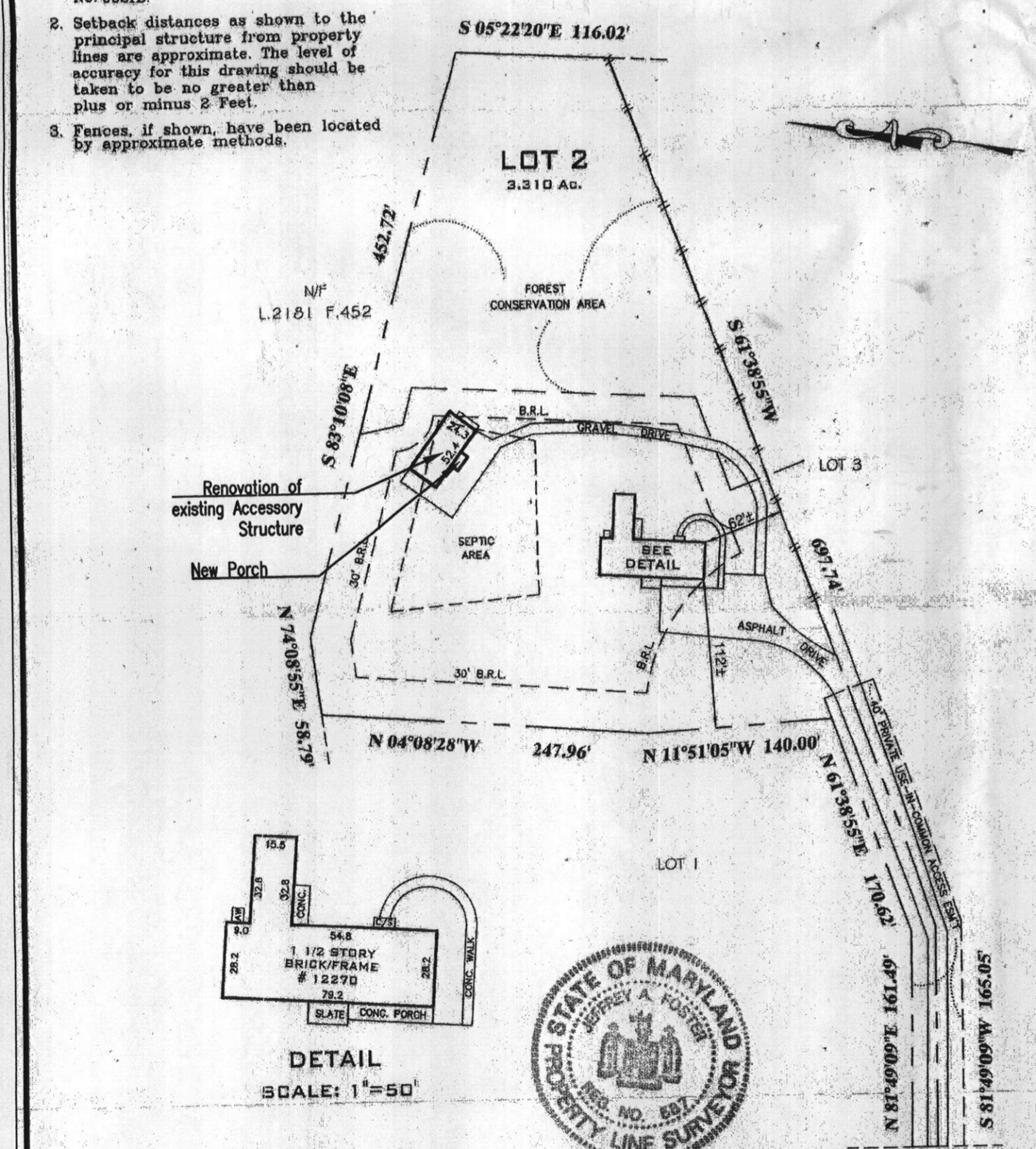


SITE PLAN SCALE: 1' = 30'-0"

DRAWING SYMBOLS

- CONSUMER INFORMATION NOTES:**
- This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 - This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
 - This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
 - Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

- Notes**
- Flood zone "C" per H.U.D. panel No. 0602B.
 - Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.
 - Fences, if shown, have been located by approximate methods.



LOCATION DRAWING LOT 2 CARROLL MILL SUBDIVISION HOWARD COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE RULES OF PRACTICE AND EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.

REFERENCES
PLAT BK. PLAT NO. 11006

DATE OF LOCATIONS
MAY 14, 2008

SCALE
1"=100'

LIBER
FOLIO

WALL CHECK
BSE. LOC. 08-23-2005

SCALE
1"=100'

DRAWN BY: F.A.
JOB NO.: 2005-0310

MATERIAL SYMBOLS

CONC. MASONRY UNIT	
GRAVEL	
EARTH	
INSULATION	
PLYWOOD	
GWB	

SQUARE FOOT SUMMARY

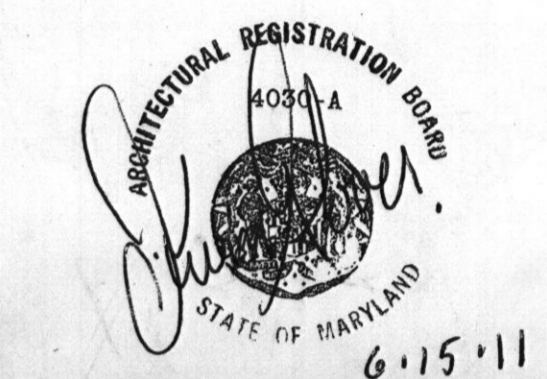
EXISTING SQUARE FOOTAGE		NEW ADDITIONAL SQUARE FOOTAGE	
BASEMENT	0 SQ. FT.	BASEMENT	0 SQ. FT.
1ST FLOOR	1269 SQ. FT.	1ST FLOOR	0 SQ. FT.
2ND FLOOR	1269 SQ. FT.	2ND FLOOR	0 SQ. FT.
TOTAL	2538 SQ. FT.	TOTAL	0 SQ. FT.

SCOPE OF WORK

Accessory Structure Renovation
CODE COMPLIANCE
Code Compliance Notes:
2009 International Residential Code With Local Amendments
Zoning: RR

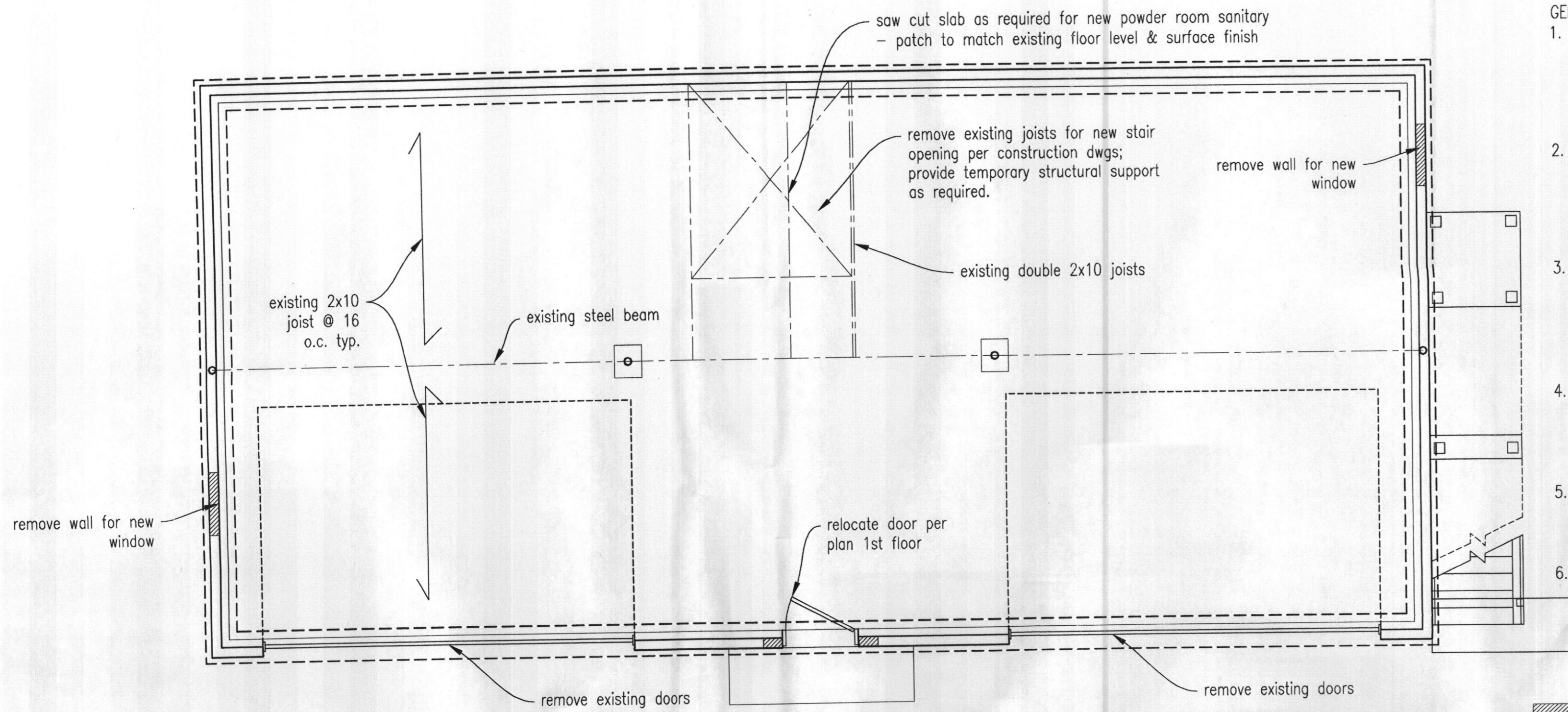
LIST OF DRAWINGS

- C-1 Cover Sheet
- A-1 1st & 2nd Floor Demo Plan
- A-2 1st Floor Plans
- A-3 2nd Floor Plan
- A-4 Elevations
- A-5 1st & 2nd Floor Elec., Plumbing & HVAC Plan



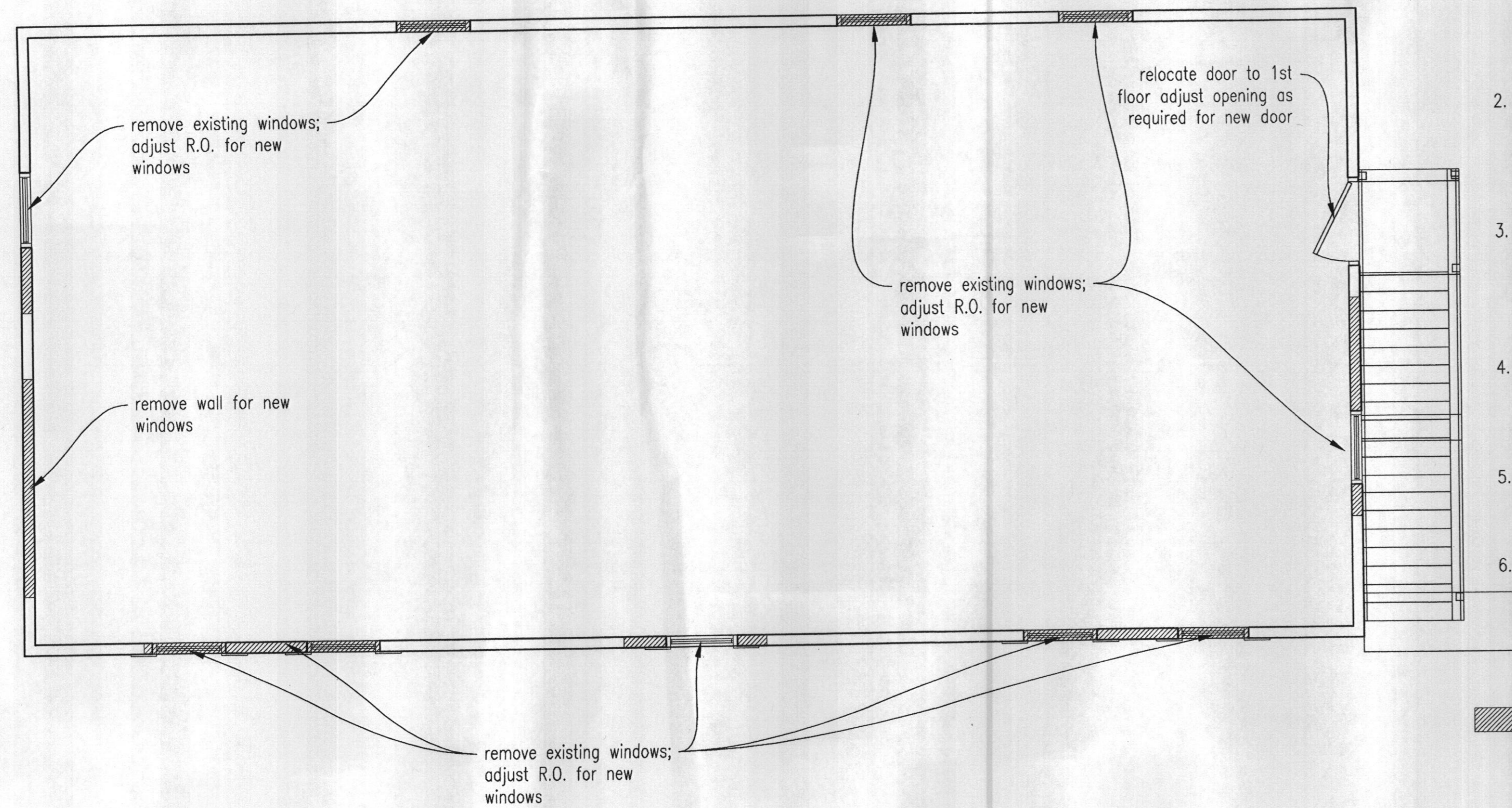
Urian Residence Assessory Structure Renovation
12270 Carroll Mill Road
Ellicott City, MD 21042

Cover Sheet		
Drawn By:	TD	C-1
Checked:	AW	1 OF 6
Plot Date:	6/14/11	
Scale:	N/A	06/14/11



1 1ST FLOOR DEMO PLAN
1/4" = 1'-0"

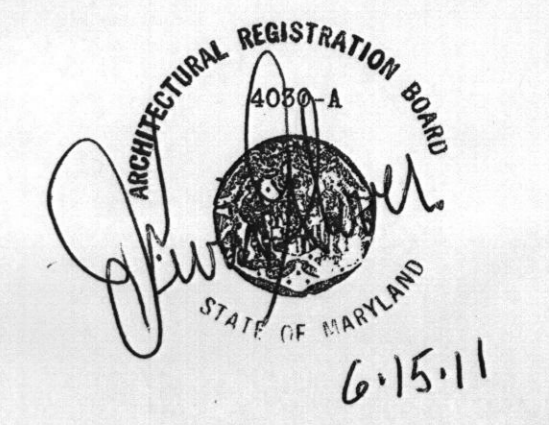
- GENERAL DEMOLITION NOTES:
- contractor shall verify all existing conditions are as shown and bring to the attention of the architect any discrepancies which may impact the execution of this work.
 - perform all work of a demolition nature that may be required or necessary for a full and complete execution of the work, whether or not shown or specified.
 - salvage construction materials and equipment (e.g. light fixtures, doors, frames, hardware, etc.) where suitable for reuse. salvaged components shall be cleaned and repaired before reusing.
 - existing construction where affected by demolition work shall be properly remembered, aligned and repaired to leave no evidence of remodeling work.
 - properly cap all pipes/utilities during demolition to minimize disruption to owners, and allow full functionality of systems.
 - provide temporary support/shoring as necessary to maintain structural integrity. contractor is responsible for all means and methods
- Location of required demo/rework as needed for new configuration.



2 2ND FLOOR DEMO PLAN
1/4" = 1'-0"

- GENERAL DEMOLITION NOTES:
- contractor shall verify all existing conditions are as shown and bring to the attention of the architect any discrepancies which may impact the execution of this work.
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kevin.glover@kg-rw.com
www.kg-rw.com

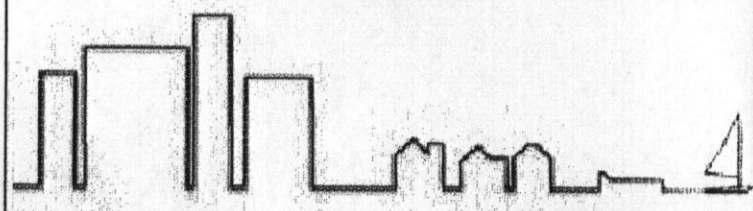


Urian Residence Assessorly Structure
Renovation
12270 Carroll Mill Road
Ellicott City, MD 21042

No.	Date	Description
1	06/15/11	PERMIT SET

1st & 2nd Floor Demo Plan

Drawn By: TD	A-1 2 OF 6 06/14/11
Checked: MW	
Plot Date: 6/14/11	
Scale: N/A	



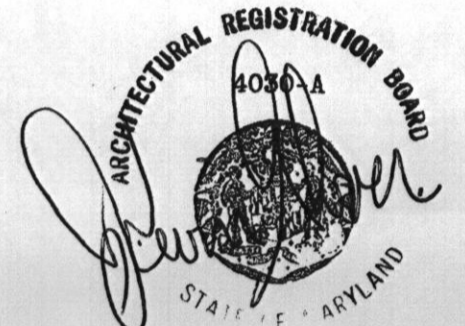
KGRW & Associates LLC

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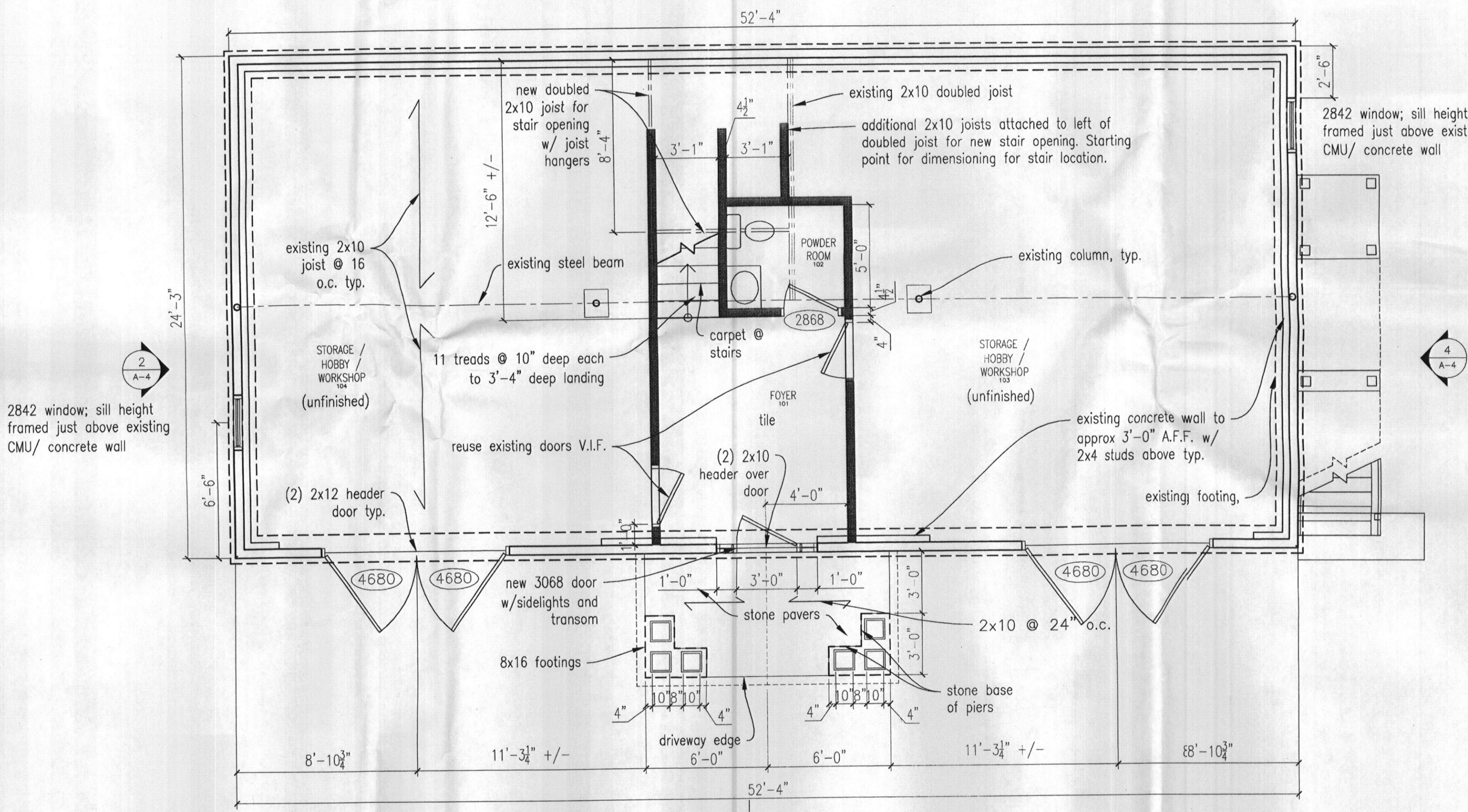
3306 Greenway Drive Ellicott City, MD 21042 / 410.207.4381

kevin.glover@kg-rw.com

www.kg-rw.com



6.15.11



- GENERAL CONSTRUCTION NOTES:**
1. all interior partitions shall be 2x4 studs @ 16" o.c. U.N.O.
 2. wall separating finished and unfinished space shall be insulated with R-13 kraft faced batt insulation with type X gyp. bd.
 3. Ceiling below 2nd floor shall be insulated with R-19 kraft faced batt insulation with type X gyp. bd. including underside of stairs.
 4. Coordinate Powder Room accessories with Owner.

LEGEND:
 New Wall

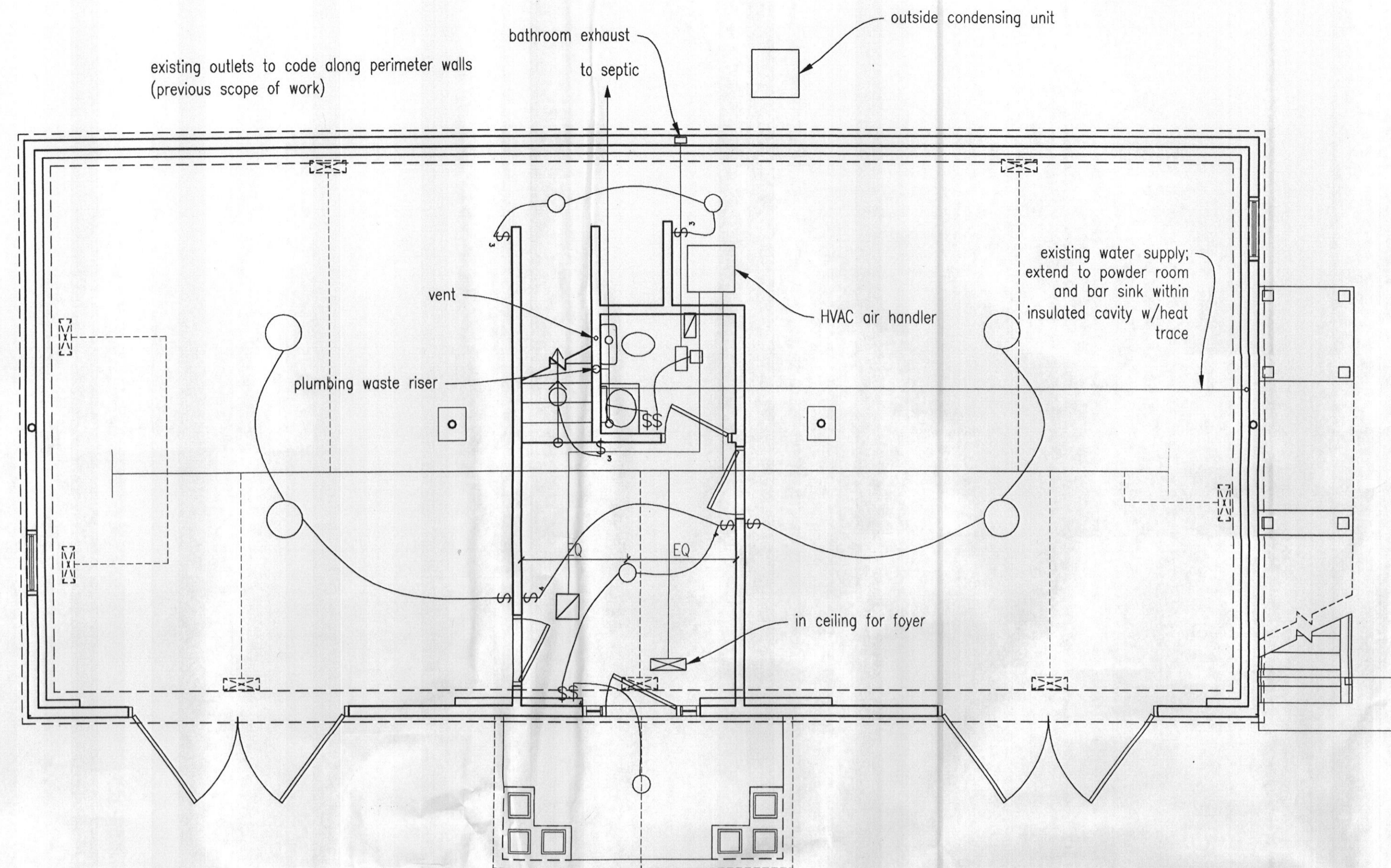
1 1ST FLOOR PLAN
 1/4" = 1'-0"

**Urian Residence Assessor Structure
 Renovation
 12270 Carroll Mill Road
 Ellicott City, MD 21042**

No.	Date	Description
1	06/15/11	PERMIT SET

1st Floor Plans

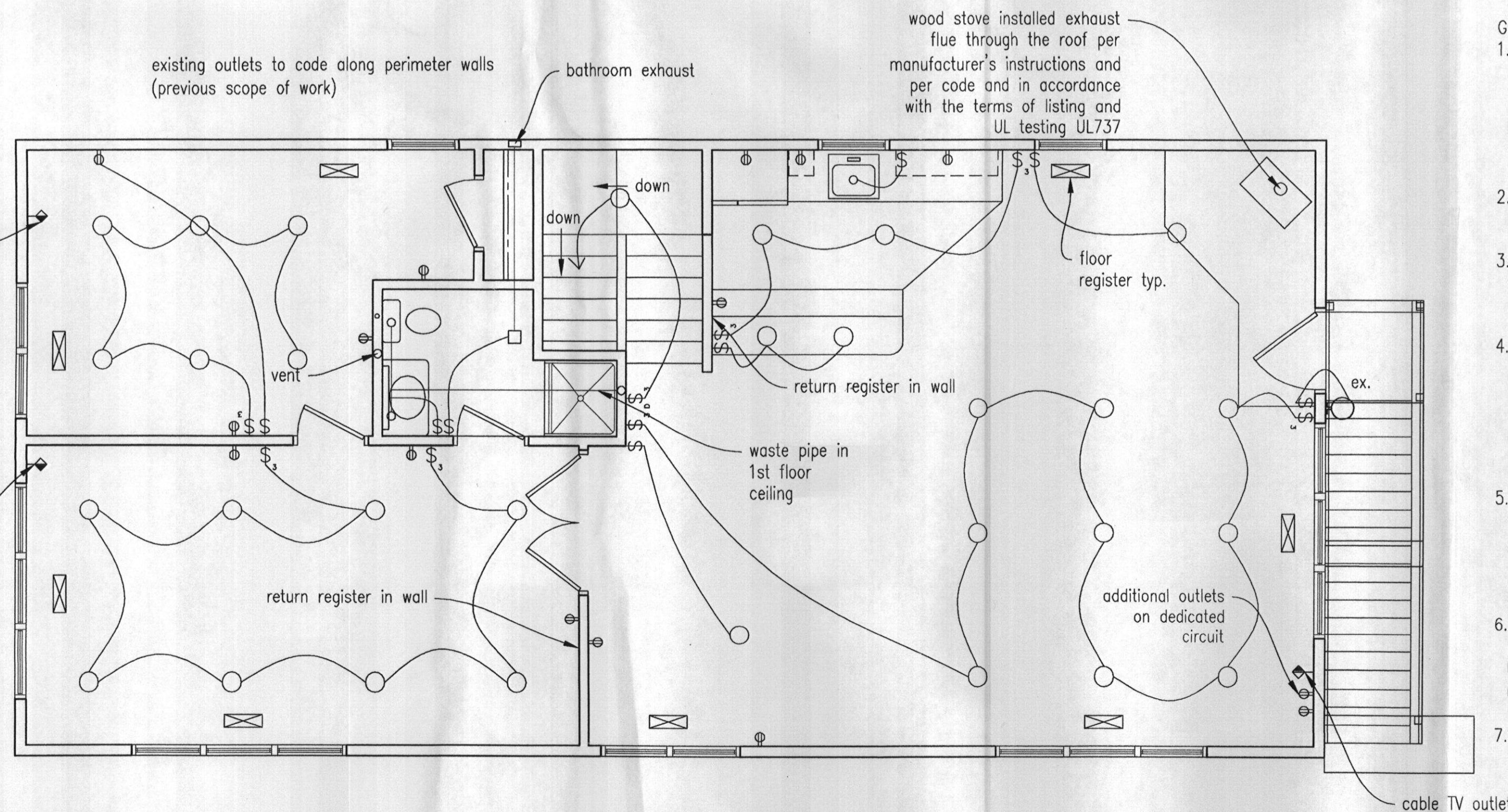
Drawn By: TP	A-2 3 OF 6 06/14/11
Checked: MW	
Plot Date: 6/14/11	
Scale: N/A	



1 1ST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:
- all mechanical, electrical, and plumbing information is for design intent only. more detailed information to be provided by corresponding subcontractor when they pull the mechanical, electrical, and plumbing permits.
 - all work shall conform with applicable Howard County and ICC codes.
 - gang all multi-receptacle switch location under a single cover plate wherever multiple devices are located.
 - all electrical receptacle and switches are shown diagrammatically and not to scale locate as shown graphically at \odot of single switch or as closely as possible to center of multiple grouping.
 - provide split receptacles at all receptacles to be controlled by switching. 1 outlet will be on a separate room circuit and 1 outlet will be on a separate switched circuit.
 - the following mounting heights shall be followed U.N.O.:
 - Switches @ 48" A.F.F
 - Elec. receptacles @ 18" A.F.F.
 - All outlets are to be GFI where required by code.

- LEGEND
- \odot DUPLEX RECPT.
 - \odot DUPLEX RECPT. DEDICATED
 - $\text{---} \text{---} \text{---}$ GANG ALL SWITCHES TOGETHER THIS LOCATION
 - $\$$ LIGHT SWITCH
 - $\$$ 3 WAY LIGHT SWITCH
 - $\$$ DIMMING LIGHT SWITCH
 - $\$$ FAN/LIGHT SWITCH
 - \odot GFI GROUND FAULT INTERRUPTER RECEPTACLE
 - \blacklozenge CABLE PRE-WIRE
 - \blacktriangleright TELEPHONE JACK
 - \circ RECESSED DOWN LIGHT
 - \odot WALL LIGHT
 - \odot JUNCTION BOX
 - $\text{---} \text{---} \text{---}$ UNDERCABINET LIGHTING
 - $\text{---} \text{---} \text{---}$ TRACK LIGHT
 - \circ CEILING MOUNTED LIGHT
 - $\text{---} \text{---}$ VANITY LIGHT
 - \square LIGHT/EXHAUST
 - \odot SHOWER RECESSED LIGHT
 - $\text{---} \text{---}$ Supply Register
 - \square Return air register

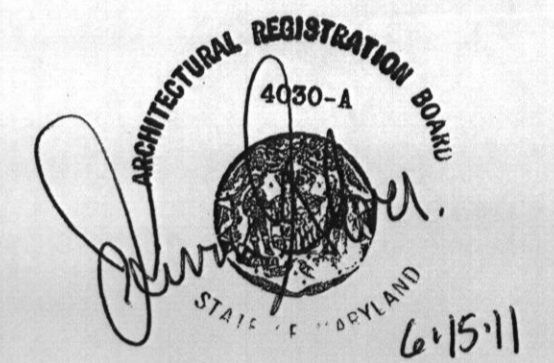


2 2ND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

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 - \circ CEILING MOUNTED LIGHT
 - $\text{---} \text{---}$ VANITY LIGHT
 - \square LIGHT/EXHAUST
 - \odot SHOWER RECESSED LIGHT
 - $\text{---} \text{---}$ Supply Register
 - \square Return air register

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No.	Date	Description
1	06/13/11	PERMIT SET

1st & 2nd Floor Elec., Plumbing & HVAC Plan

Drawn By: TD	A-5 6 OF 6 06/14/11
Checked: RW	
Plot Date: 6/14/11	
Scale: N/A	