



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B13004451

Building Address: 8476 Old Frederick Rd
 City: ELLICOTT CITY State: MD Zip Code: 21043
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Single Family Dwelling
 Proposed Use: Storage SFD with Addition
 Estimated Construction Cost: \$ 8500
 Description of Work: Storage Space Above Garage 20.5 X

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: STEVEN & KATHY KIRCHWICK
 Address: 8476 Old Frederick Rd
 City: ELLICOTT CITY State: MD Zip Code: 21043
 Phone: 443-326-5000 Fax: _____
NO COMPUTER

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: 51169
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: ART VONNEN CONSTRUCTION
 Contact Person: MIKE
 Address: 1362 Zappa Ln
 City: Artisan State: PA Zip Code: 19310
 License No. _____
 Phone: 610-656-9390 Fax: _____
 Email: Home Owner

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
	Footings:	
	Roof:	
	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<u>Water Supply</u>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<u>Heating System</u>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

[Signature]
 Applicant's Signature
[Signature]
 Email Address

 Title/Company

STEVEN KIRCHWICK
 Print Name
12-6-13
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>[Signature]</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

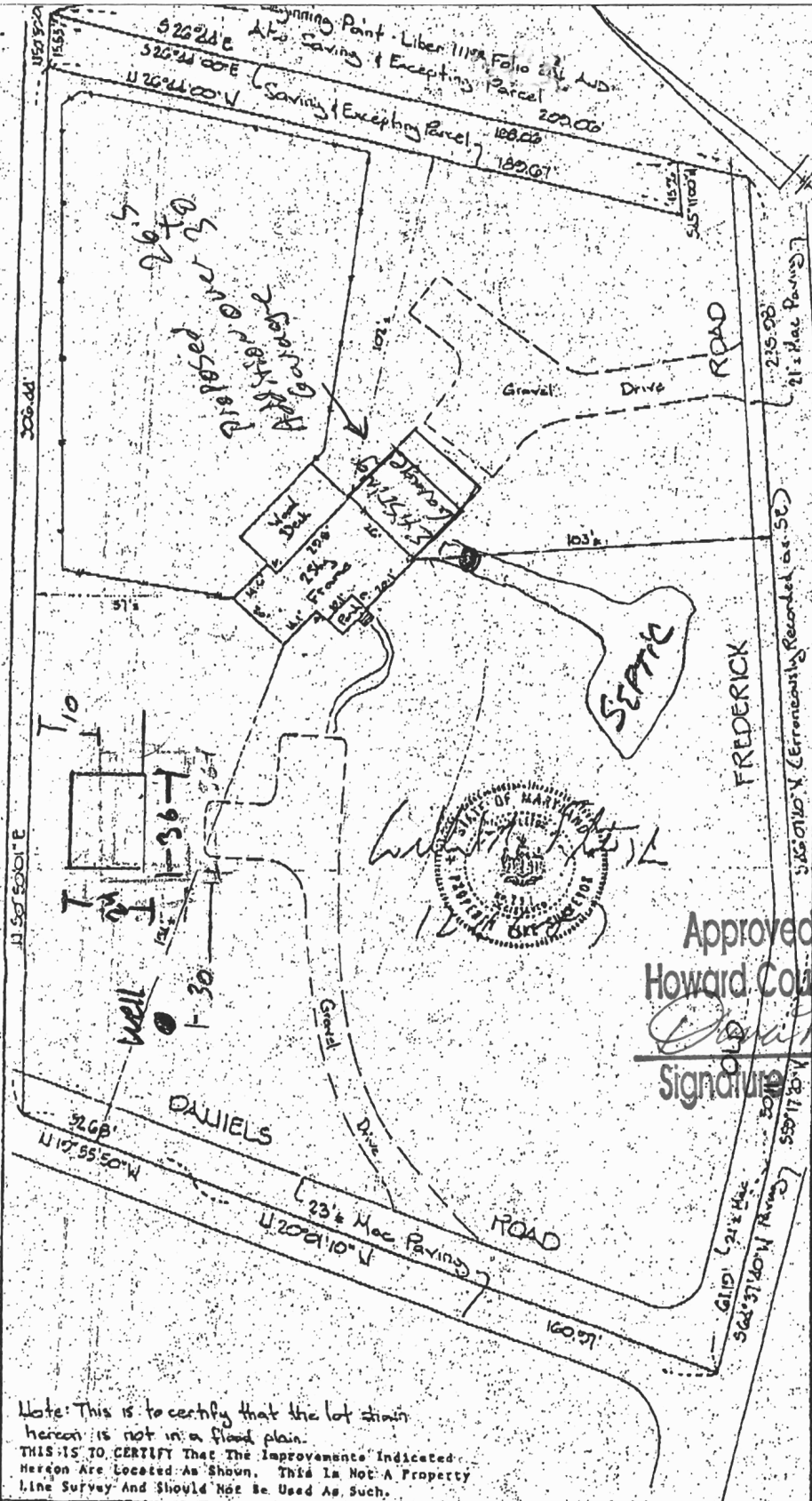
DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA

[Signature] will pay fee all at time of issuance

(Scale 1-50)



Approved Septic System Plan
 Howard County Health Department
 Signature: B13004451 Date: 1-23-14
 B13004451

Note: This is to certify that the lot shown hereon is not in a flood plain. THIS IS TO CERTIFY THAT THE IMPROVEMENTS INDICATED HEREON ARE LOCATED AS SHOWN. THIS IS NOT A PROPERTY LINE SURVEY AND SHOULD NOT BE USED AS SUCH.

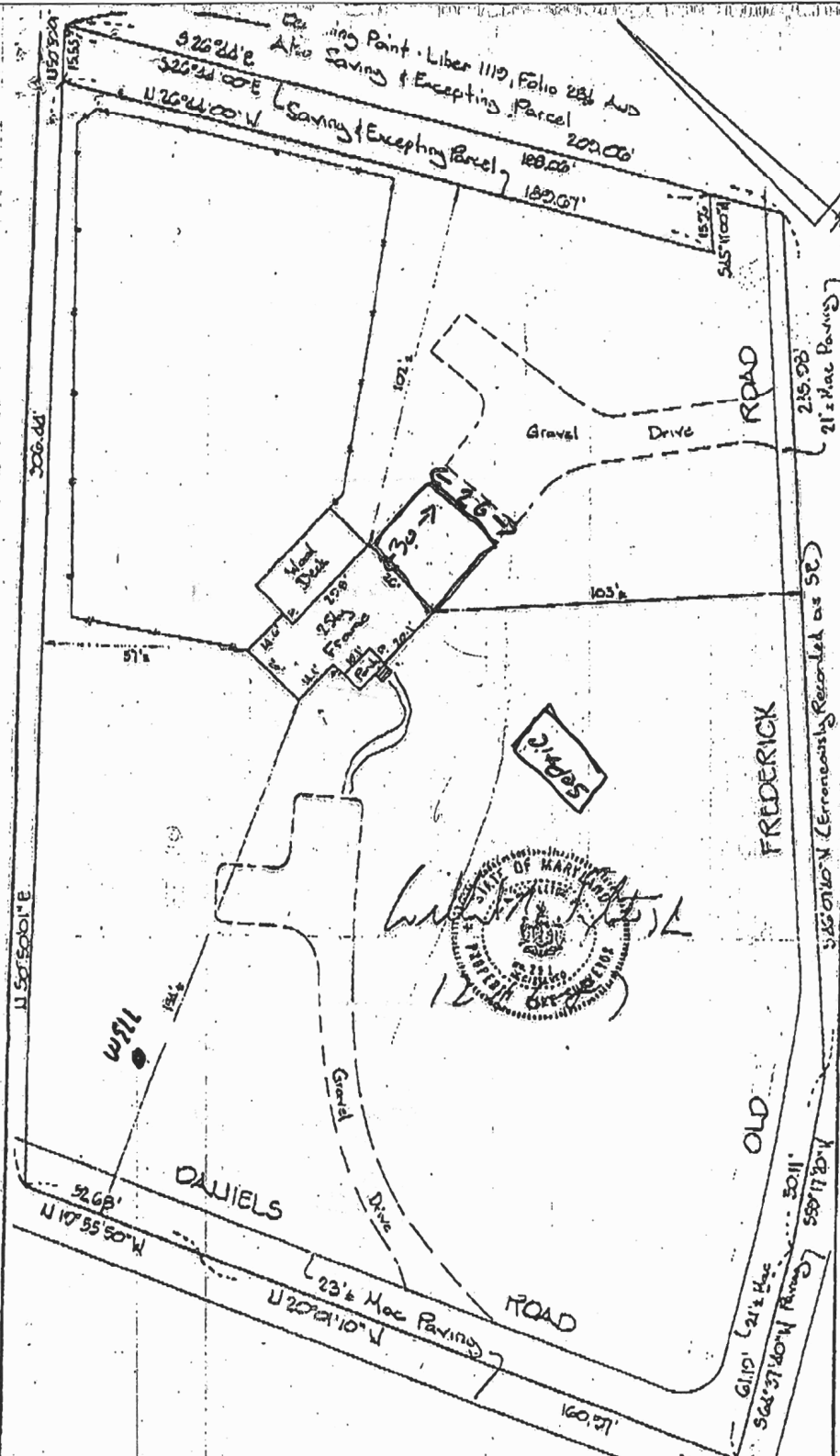
HICKS ENGINEERING COMPANY, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 200 EAST JOPPA ROAD • SUITE 402
 TOWSON, MARYLAND 21204
 TELEPHONE: 301/494-0001

LOCATION CERTIFICATION
 8476 Old Frederick Road
 LIBER 1119; Folio 284, Howard Co.
 SAYING / EXCEPTING LIBER Folio
 DATE: 12/15/13 SCALE: 1"=50' FILE: 52.23



20 ft
10 m

ST
DB
#2 50'
#1 50'



Notes: This is to certify that the lot shown hereon is not in a flood plain. THIS IS TO CERTIFY THAT THE IMPROVEMENTS INDICATED HEREON ARE LOCATED AS SHOWN. THIS IS NOT A PROPERTY LINE SURVEY AND SHOULD NOT BE USED AS SUCH.

HICKS ENGINEERING COMPANY, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 200 EAST JOPPA ROAD - SUITE 402
 TOWSON, MARYLAND 21204
 TELEPHONE: 301/494-0001

LOCATION CERTIFICATION
 #8476 Old Frederick Road
 LIBER 1119, Folio 224, Howard Co.
 SAYING & EXCEPTING LIBER Folio
 DATE: 12/18/87 SCALE: 1"=30' FILE: 52-23

BED ROOM

CLOSET

BATHROOM

Tub

CLOSET

WOOD ROOM

HALLWAY

KITCHEN

STOVE

SINK

FRIDGE

STAIRS TO 2nd FLOOR

STAIRS TO BASEMENT

LIVING ROOM

DINING ROOM

1ST FLOOR

DOOR

S

← 42 →

11

← 26 →

2nd Floor

S

3

~~Office~~
Office

HALL
way

331

STAIRS
TO
1ST Floor

Office

TOILET

SHOWERS

Bedroom

Closet



N

EXISTING
HOUSE

Door

ADDITION FLOOR PLAN

OPEN AREA

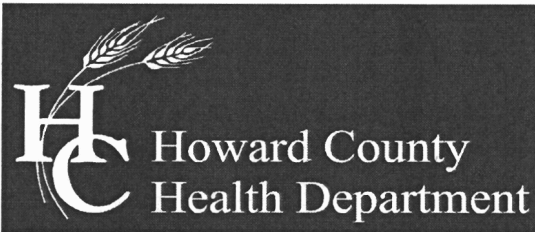
Stair Case

Storage

← 30 →

1 FOOT

← 26 →



Office of the Health Officer
8930 Stanford Blvd., Columbia, MD 21045
Main: 410-313-6300 | Fax: 410-313-6303
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer.

January 7, 2014

TO: Steven Kirchner
8476 Old Frederick Road
Ellicott City, Maryland 21043


RE: **Building Permit # B13004451**
8476 Old Frederick Road
Ellicott City, Maryland 21043

Mr. Kirchner,

Further review is contingent upon submission of a revised building plan showing the following:

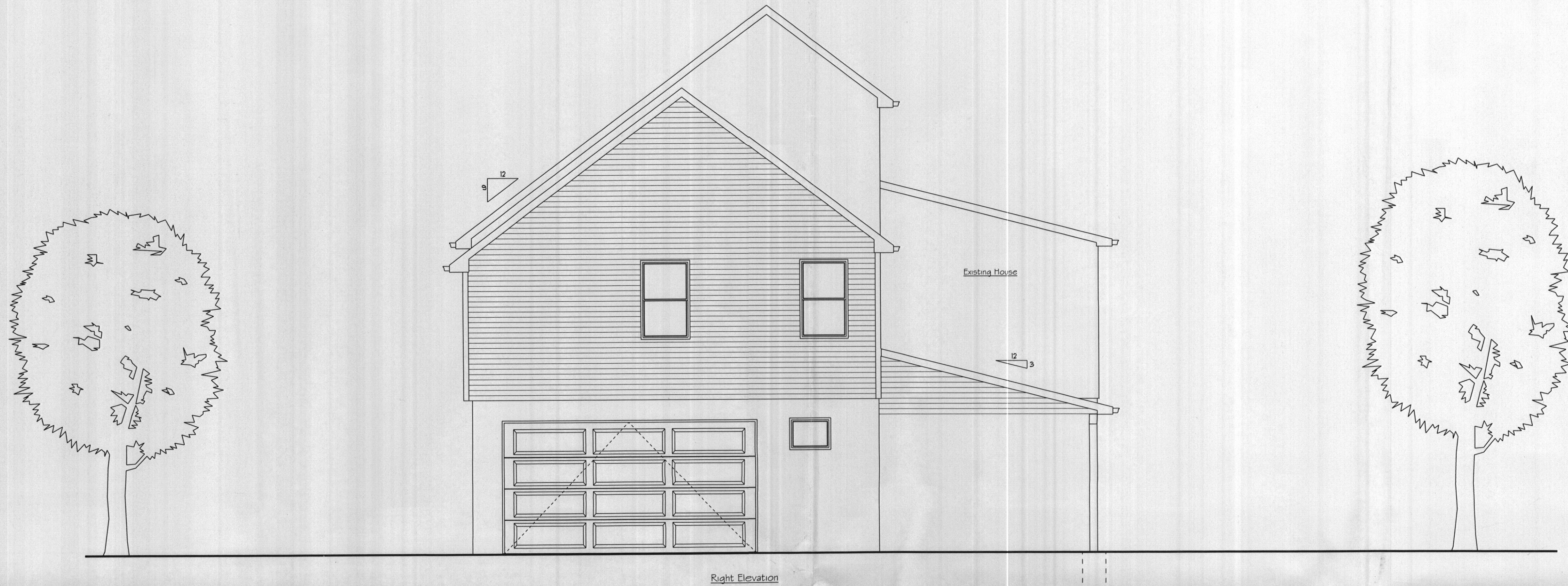
- Plan must be to scale.
- Floor plans for the existing house must be submitted.
- Floor plans for the proposed addition must be submitted.
- Your revised building plan must show the exact location of the existing structures such as wells, septic easements, septic reserve areas, and other septic system components such as septic tank, dry wells and distribution box.

Your building permit will be placed "on hold" until all Health Dept. requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

STEVE KIRCHNER



Right Elevation

EXTON, PENNSYLVANIA

REVISIONS	DATE	DESCRIPTION	BY	
			PRELIMINARY	R.L.
	08/20/13			
	10/29/13			

JOHN R. ESH
DRAFTING CONCEPTS LLC
 ARCHITECTURAL DRAFTING
 5219 OLD STRASBURG RD.
 KINZERS, PA. 17535
 DRAFTER: REUBEN LAPP
 717-442-5053

SITE: 8476 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21042
 HOWARD, CO.
 CONTRACTOR: MT. VERNON CONSTRUCTION
 1362 ZOOK LN.
 ATGLEN, PA. 19310
 PH.# 610-656-9390

A ADDITION FOR:
STEVE KIRCHNER
 8476 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21042

COVER SHEET
 DATE: 08/20/13
 SCALE: AS NOTED
 DRAWING NO: R169-13

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
ROOF		
CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d	-----
CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	(3) 10d	-----
COLLAR TIE RAFTER, FACE NAIL	(3) 10d	-----
RAFTER TO PLATE, TOE NAIL	(2) 16d	-----
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, TOE NAIL	(4) 16d	-----
WALL		
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP HEADER, TWO PIECES	16d	16" O.C. ALONG EA. EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d	-----
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	(6) 16d	-----
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	(3) 16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	(2) 16d	-----
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	(2) 10d	-----
JOIST TO SILL OR GIRDER, TOE NAIL	(3) 8d	-----
RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATION ALSO)	8d	6" O.C.
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED TWO NAILS AT ENDS AND AT EACH BRACE

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING			
5/16" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6	12
1/8" - 1"	8d COMMON NAIL	6	12
1/2" GYPSUM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 1/2" LONG, 1 1/4" SCREWS, TYPE W OR S	7	7
5/8" GYPSUM SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 5/8" LONG, 1 3/8" SCREWS, TYPE W OR S	7	7

NOMINAL MATERIAL THICKNESS (INCHES)	DESCRIPTION OF FASTENER AND LENGTH (INCHES)	SPACING OF FASTENERS	
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING			
UP TO 1/2"	STAPLES 15 GA. 1 3/4"	4	8
	NAIL 2 1/4"	3	6
23/32" AND 3/4"	STAPLES 16 GA. 1 3/4"	3	6
	STAPLES 14 GA. 2"	4	8
	STAPLES 15 GA. 1 3/4"	3	6
	NAIL 2 1/4"	4	8

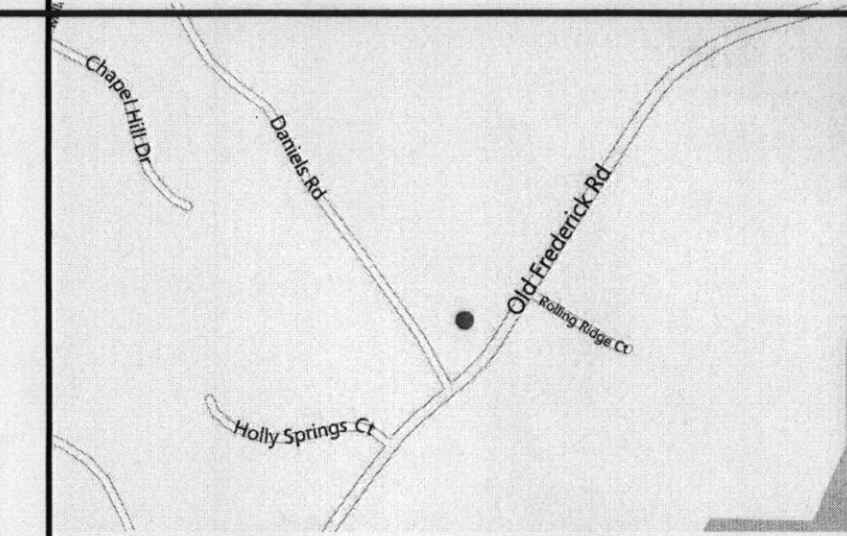
GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH IRC BUILDING CODE
- BUILDER MUST VERIFY ALL DIMENSIONS AND ACCURACY BEFORE CONSTRUCTION
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS
- PROVIDE BRIDGING AT ALL MIDSPAN POINTS, UNLESS NOT REQUIRED BY JOIST MANUF.
- ALL STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS OTHERWISE NOTED
- IF APPLICABLE, WHERE GARAGE IS ATTACHED TO DWELLING UNIT, WALLS BETWEEN GARAGE & HOUSE TO BE FIRE-RATED = (1) LAYER (1/2) INCH TYPE X FIRE-CODE DRYWALL, DOOR BETWEEN AREAS TO BE 20 MINUTE C-LABEL DOOR WITH FIRE-CODE JAMB
- MECHANICAL AND SUMP PIT LOCATIONS VARY PER SITE GRADING AND BASEMENT CONDITIONS
- TEMPERED GLAZING REQUIREMENTS:
 - (1) - IN WINDOWS & DOORS WITHIN (18) INCHES OF WALKING SURFACE
 - (2) - IN ANY INDIVIDUAL PANEL GREATER THAN (9) SQ. FT.
 - (3) - IN WINDOWS WITHIN (24) INCHES OF ANY OPENABLE DOOR WHEN DOOR IS IN CLOSED POSITION
 - (4) - IN PANELS WITHIN STAIRWAYS, LANDING AND RAMPS, AND WITHIN (36) INCHES HORIZONTALLY OF WALKING SURFACE, UNLESS PROTECTED WITH BARS 3" O.C. CAPABLE OF WITHSTANDING 50 LB. PER LINEAR FOOT
 - (5) - IN PANELS ADJACENT TO STAIRWAY WITHIN (60) INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION, AND WHEN THE PANEL IS WITHIN (60) INCHES OF THE TREAD NOSING.
 EXCEPTION: IF HANDRAIL OR GUARDRAIL IS PROVIDED, DISTANCE CAN BE REDUCED TO (18) INCHES FROM RAILING TO ADJACENT GLAZING. APPLICANT SHALL PROVIDE CODE OFFICIAL WITH CUT-SHEETS PRIOR TO CONSTRUCTION
- PROVIDE SMOKE DETECTORS IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA, AND (1) PER FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS. DOES NOT INCLUDE CRAWL SPACES OR UNINHABITABLE ATTICS. SMOKE DETECTORS MUST BE INTERCONNECTED BY WIRING, UNLESS NO POWER SOURCE IS AVAILABLE, BATTERY OPERATED DETECTORS ARE ALLOWED. PROVIDE CARBON MONOXIDE DETECTORS IN EACH SEPERATE SLEEPING AREAS IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLINGS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLINGS THAT HAVE ATTACHED GARAGES.
- BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST (1) OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING. A (36) INCH X (6) FEET (8) INCH DOOR, DIRECT TO OUTSIDE IS ALLOWED FOR EGRESS (DOOR TO HAVE BULHEAD ENCLOSURE)
- EGRESS WINDOWS TO HAVE A MIN. OF (5.7) SQ. FT. CLEAR OPENING, WITH A MIN. (24) INCH OPENING HEIGHT AND MIN. (20) INCH OPENING WIDTH. GRADE FLOOR OPENINGS ARE ACCEPTED TO HAVE A (5) SQ. FT. CLEAR OPENING
- ALL EGRESS UNITS SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF TOOLS OR KEYS
- WINDOW WELLS - THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE (9) SQ. FT. WITH A MIN. HORIZONTAL PROJECTION AND WIDTH OF (36) INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED
- WINDOW SILLS TO BE A MINIMUM 24" ABOVE FINISH FLOOR, WHERE OUTSIDE GRADE EXCEEDS 6'-0" FROM WINDOW SILL.
- THE EXTERIOR LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 3/4 INCHES (1 8/16MM) BELOW THE TOP OF THE THRESHOLD, PROVIDE THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING

CODE & LOADING INFORMATION

- OCCUPANCY TYPE**
- RESIDENTIAL SINGLE FAMILY DWELLING
- CONSTRUCTION TYPE**
- TYPE 5 B
- LOADING NOTES**
- 1st FLOOR LIVE = 40 PSF
 - SNOW LIVE = 30 PSF
 - DEAD LOADS = 10 PSF
 - BASIC WIND SPEED = 90 MPH
 - SEISMIC DESIGN CATEGORY = B
 - FROST LINE DEPTH = 36"
 - ASSUMED SOIL CLASS = GM, GC
 - SOIL BEARING CAPACITY = 2000 PSF
 - IF SOIL DIFFERS FROM ASSUMED ABOVE (REFER TO IRC 2009 CODES)

LOCATION MAP



DRAWING LIST

- 1- COVER SHEET
- 2- FIRST-FLOOR PLAN/FOUNDATION
- 3- ELEVATIONS/SECTIONS
- 4- CODE NOTES

ENERGY CODE COMPLIANCE

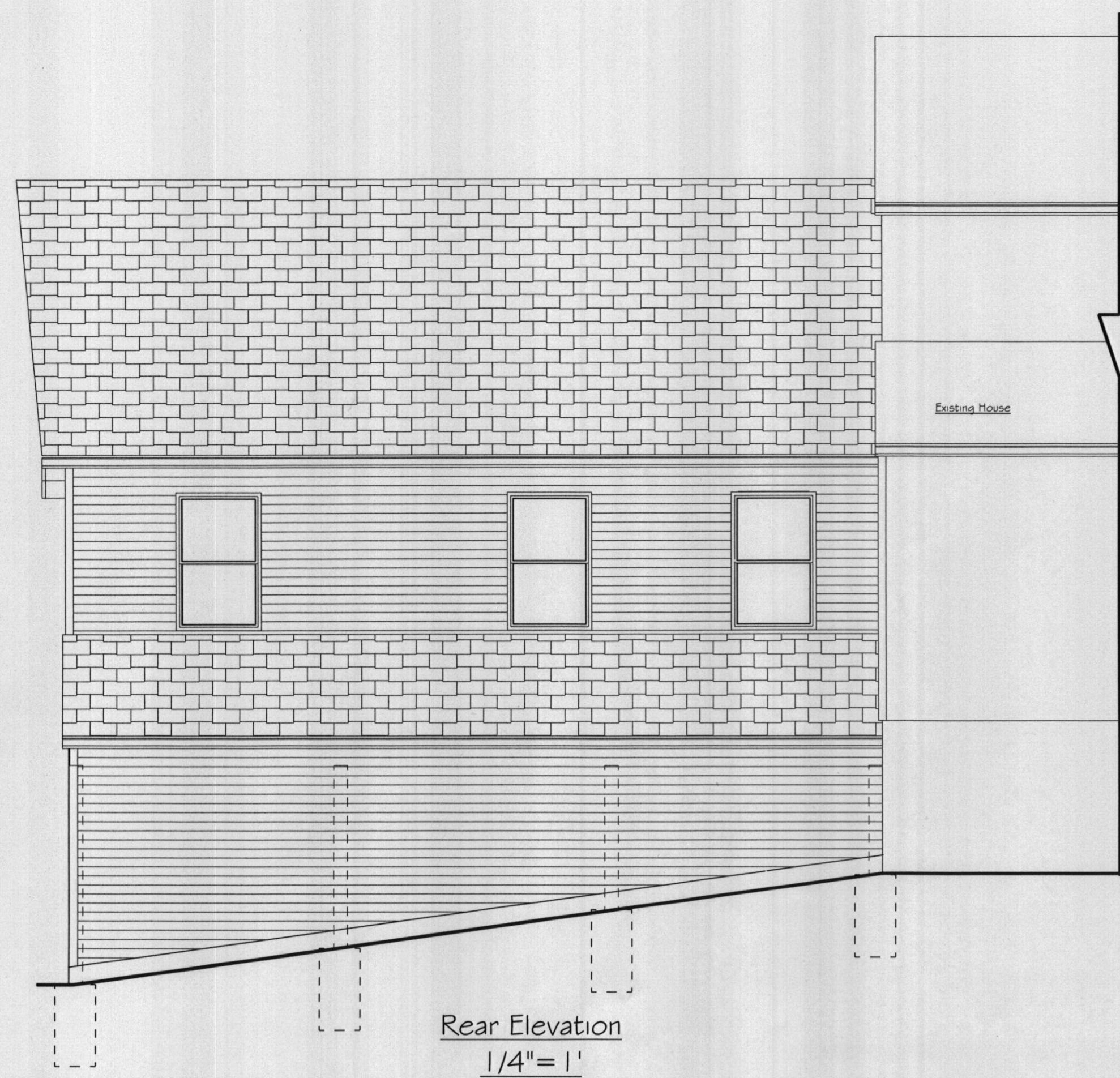
- SINGLE FAMILY DWELLING (ZONE 4-A)**
- MAX. GLAZING U-FACTOR = .35
 - CEILING INSULATION = R-38
 - WALL INSULATION = R-19
 - BASEMENT INSULATION = R-10 CONTINUOUS or R-13 CAVITY
 - FLOOR INSULATION = R-30
 - SLAB FLOOR INSULATION = R-10, 24"
 - CRAWL SPACE WALLS = R-10 CONTINUOUS or R-13 CAVITY

CLIENT CONTACT INFORMATION

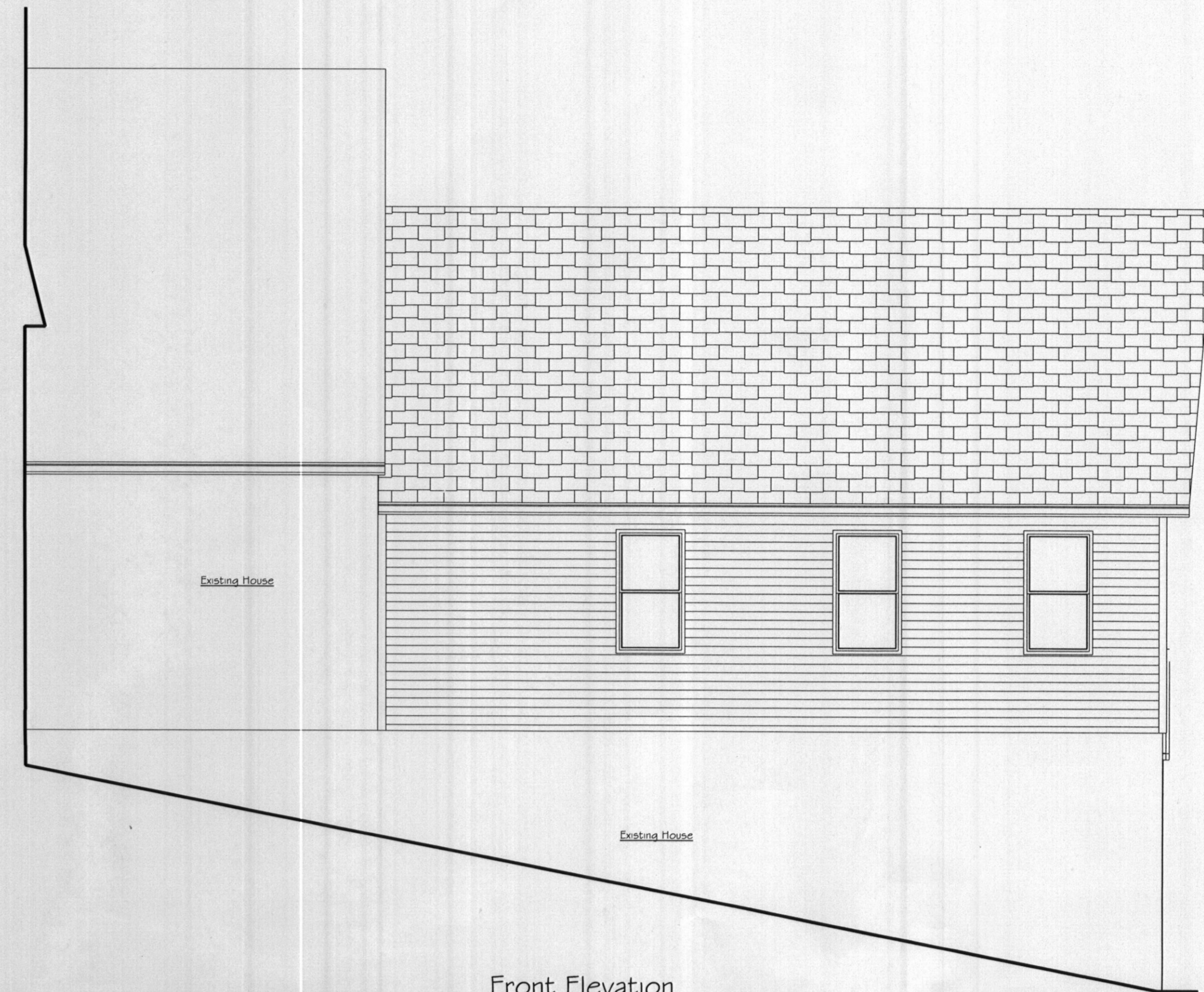
OWNER:
 STEVE KIRCHNER
 8476 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21042

ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS

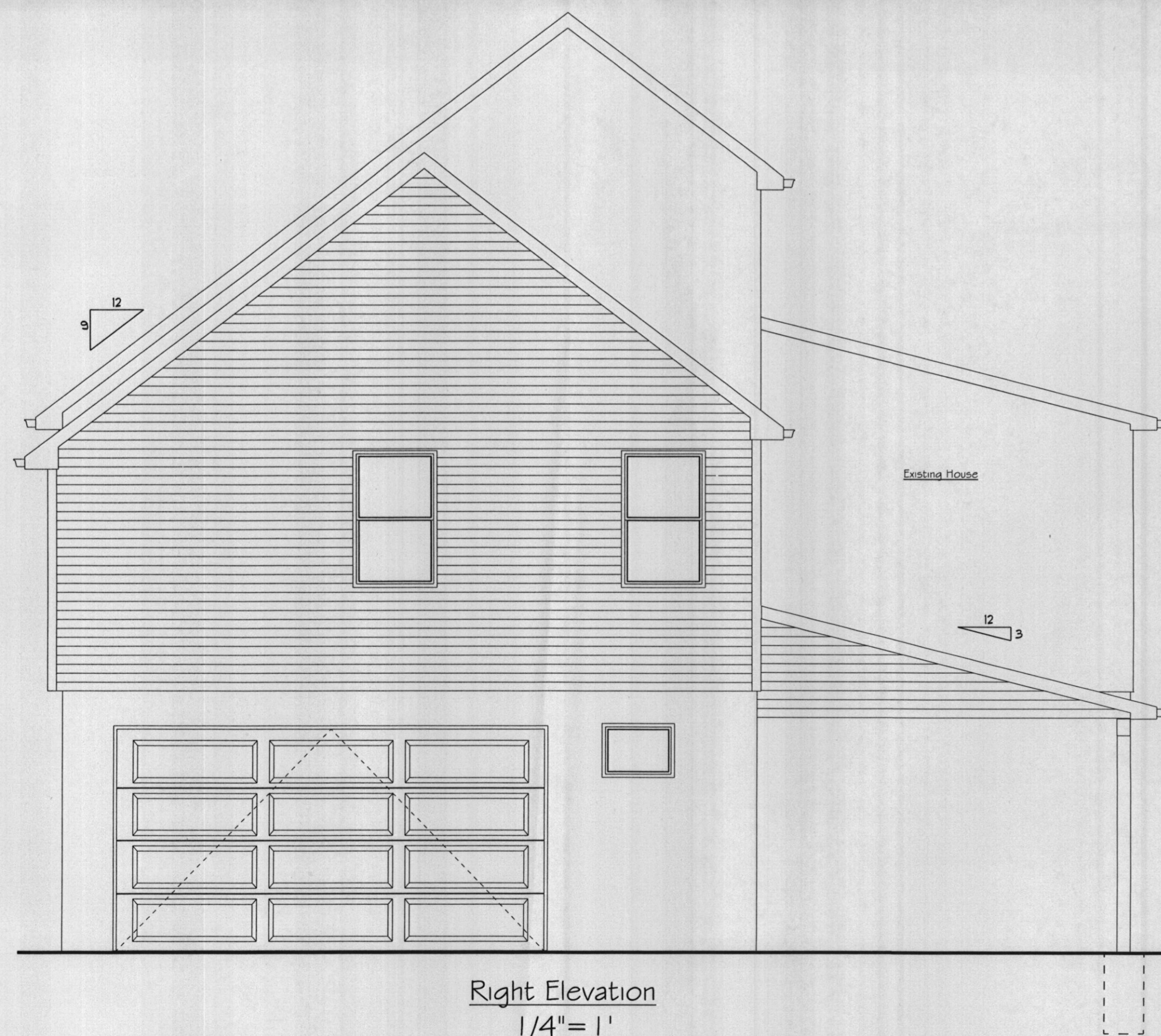
THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS, THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM ARCHITECT. ANY STRUCTURAL CHANGES THAT AFFECT THESE DRAWINGS MUST BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION



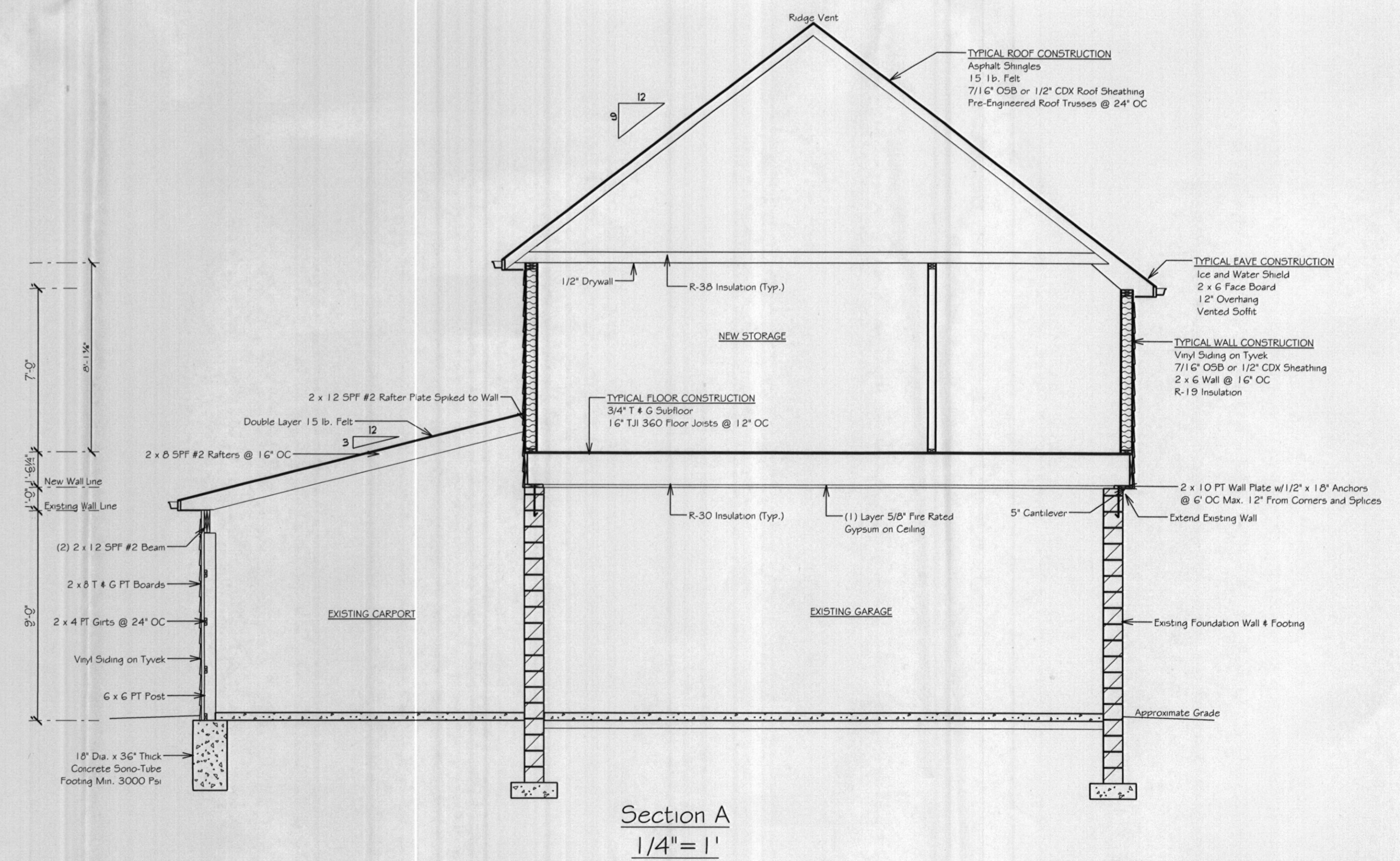
Rear Elevation
1/4" = 1'



Front Elevation
1/4" = 1'



Right Elevation
1/4" = 1'



ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS. THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM ARCHITECT. ANY STRUCTURAL CHANGES THAT AFFECT THESE DRAWINGS MUST BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION.

REVISIONS		DATE	DESCRIPTION	BY
		08/20/13	PRELIMINARY	R.L.
		10/09/13	FINAL	R.L.

DRAWN BY: JOHN R. ESH

DRAFTING CONCEPTS LLC
 ARCHITECTURAL DRAFTING
 5219 OLD STRASBURG RD.
 KINZERS, PA. 17535
 DRAFTER: REUBEN JAPP 717-442-5053

SITE: 8476 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21042
 HOWARD, CO.

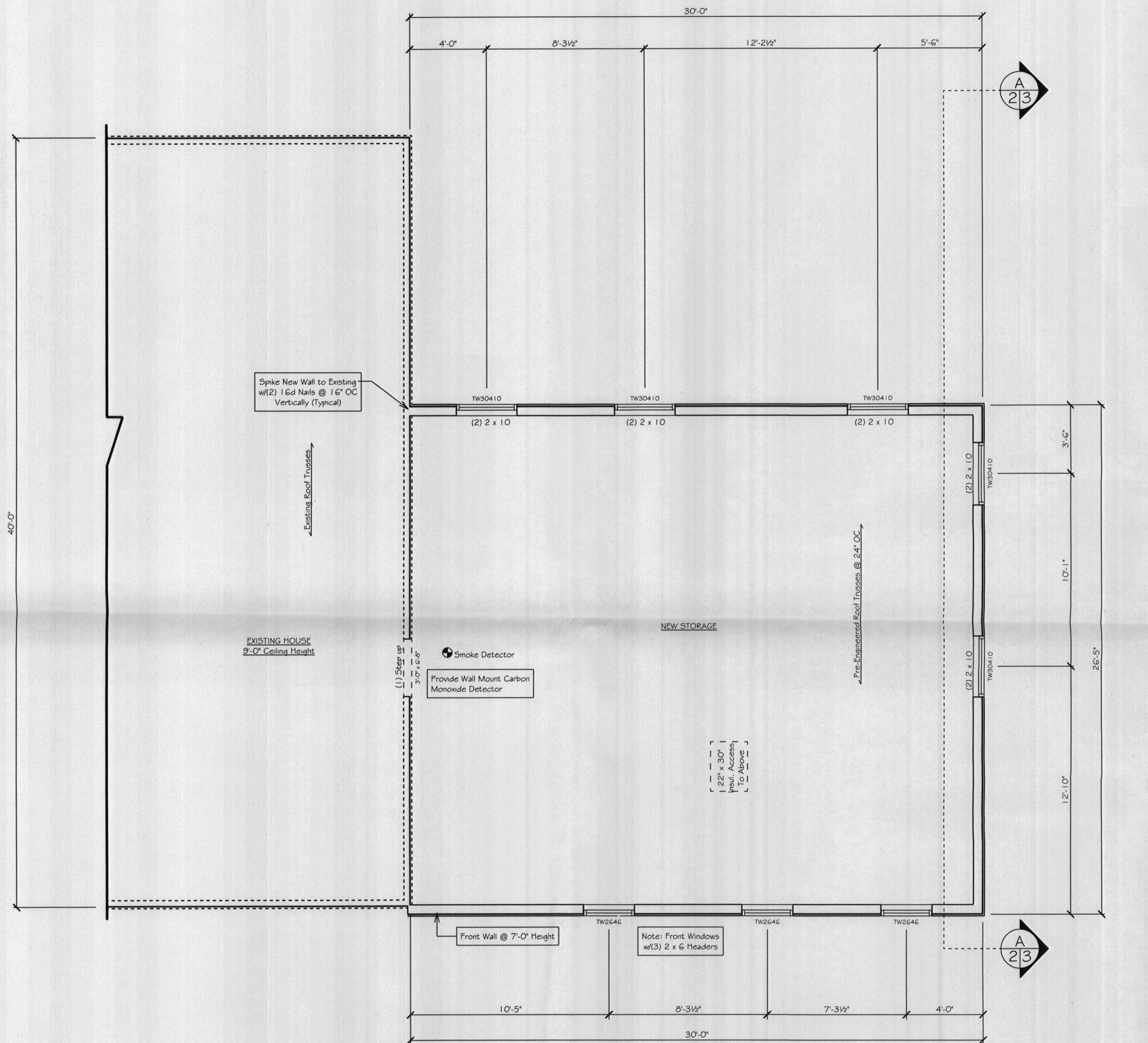
CONTRACTOR: MT. VERNON CONSTRUCTION
 1362 ZOOK LN.
 ATGLEN, PA. 19310
 PH: 610-656-9390

A ADDITION FOR:
 STEVE KIRCHNER
 8476 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21042

SECTION- ELEVATIONS

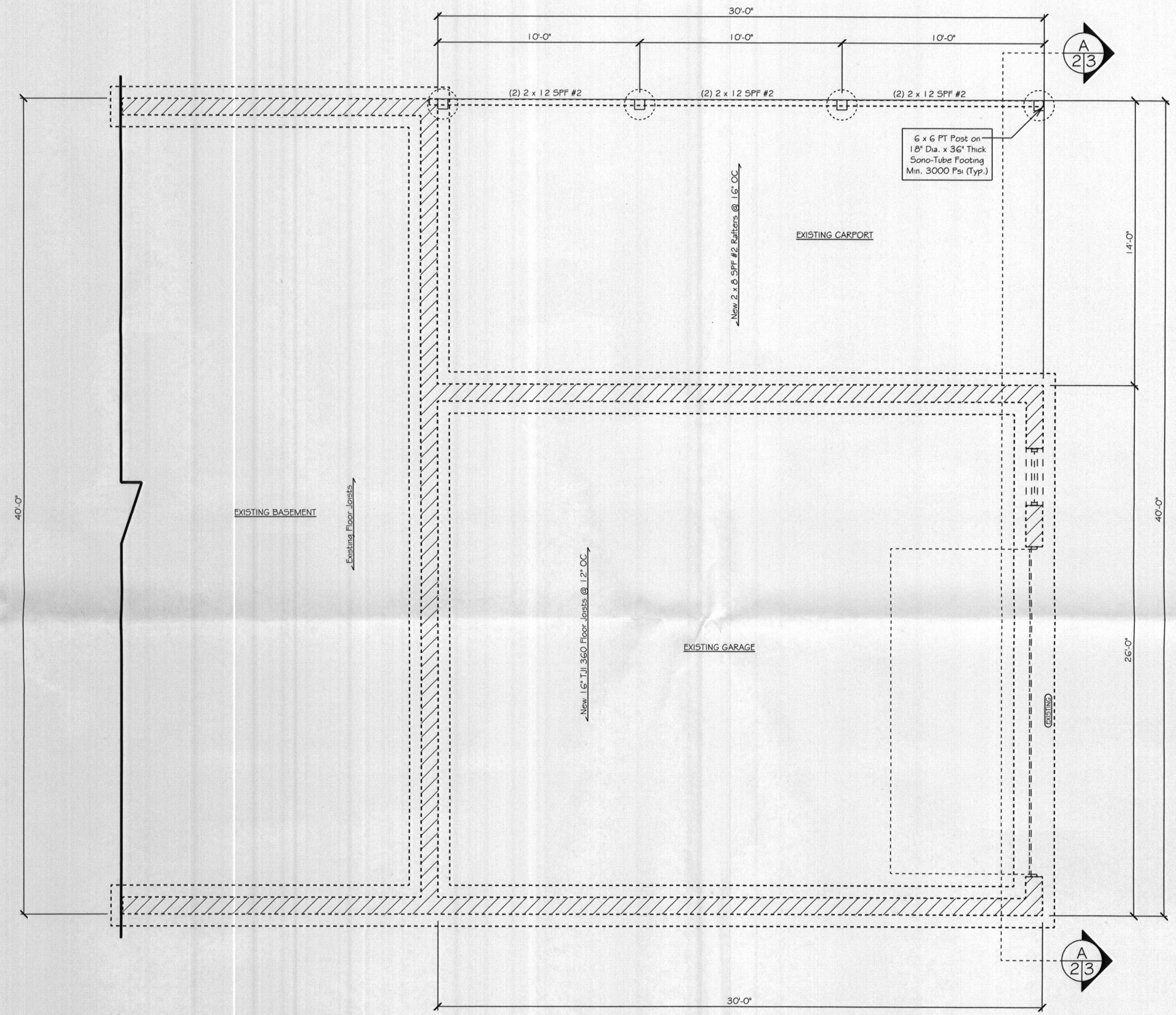
DATE: 08/20/13
 SCALE: AS NOTED
 DRAWING NO: R169-13

3



Floor Plan
1/4" = 1'

Notes: Window Numbers Are Anderson 400 Series
Approximately 793 Sq. Ft. New Addition



Foundation Plan
1/4" = 1'

ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS

THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS. THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM ARCHITECT. ANY STRUCTURAL CHANGES THAT AFFECT THESE DRAWINGS MUST BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION

DATE	DESCRIPTION	BY	
		P.L.L.	R.L.L.
08/20/13	PRELIMINARY		
10/09/13	FINAL		

DRAWN BY: JOHN R. ESH

DRAFTING CONCEPTS LLC
ARCHITECTURAL DRAFTING
5219 OLD STRASBURG RD.
KINZERS, PA. 17355
DRAFTER: REUBEN LAFF
717-442-5053

SITE: 8476 OLD FREDERICK RD.
ELLICOTT CITY, MD. 21042
HOWARD, CO.

CONTRACTOR: MT. VERNON CONSTRUCTION
1362 ZOOK LN.
ATGLEN, PA. 19310
PH: 610-656-9390

A ADDITION FOR:
STEVE KIRCHNER
8476 OLD FREDERICK RD.
ELLICOTT CITY, MD. 21042

1ST-FLOOR- 2ND-FLOOR

DATE:
08/20/13

SCALE:
AS NOTED

DRAWING NO:
R169-13

WALL COVERING (CHAPTER 7)

INTERIOR WALL

- ALL GYPSUM BOARD SHEATHING 1/2 INCH MIN. WITH OR WITHOUT ADHESIVE

MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD						
THICKNESS OF GYPSUM BOARD (Inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (Inches)	MAXIMUM SPACING OF FASTENERS (Inches)	NAILS	SCREWS
Application without adhesive						
3/8	Ceiling	Perpendicular	16	7	12	13 gage, 1 1/4" long, 19/64" head, 0.098 diameter, 1 1/4" long, annular-ridged, or 4d cooler nail, 0.060" diameter, 1 3/8" long
	Wall	Either direction	16	8	16	7/32" head
1/2	Ceiling	Either direction	16	7	12	13 gage, 1 3/8" long, 19/64" head, 0.098 diameter, 1 1/4" long, annular-ridged, 5d cooler nail, 0.060" diameter, 1 5/8" long
	Ceiling	Perpendicular	24	7	12	13/64" head, 0.098 diameter, 1 5/8" long
	Wall	Either direction	24	8	12	13/64" head, 0.098 diameter, 1 5/8" long, 9/32" head
	Wall	Either direction	16	8	12	
5/8	Ceiling	Either direction	16	7	12	13 gage, 1 5/8" long, 19/64" head, 0.098 diameter, 1 3/8" long, annular-ridged, 6d cooler nail, 0.092" diameter, 1 7/8" long
	Ceiling	Perpendicular	24	7	12	1 1/4" head, 0.092" diameter, 1 7/8" long
	Wall	Either direction	24	8	12	1 1/4" head, 0.092" diameter, 1 7/8" long
	Wall	Either direction	16	8	16	1 1/4" head, 0.092" diameter, 1 7/8" long, 19/64" head
Application with adhesive						
3/8	Ceiling	Perpendicular	16	16	16	Same as above for 3/8" gypsum board
	Wall	Either direction	16	16	24	
1/2 or 5/8	Ceiling	Either direction	16	16	16	Same as above for 1/2" and 5/8" gypsum board, respectively
	Wall	Either direction	24	12	24	
two 3/8 layers	Ceiling	Perpendicular	16	16	16	Base ply nailed as above for 1/2" gypsum board, face ply installed with adhesive
	Wall	Either direction	24	24	24	

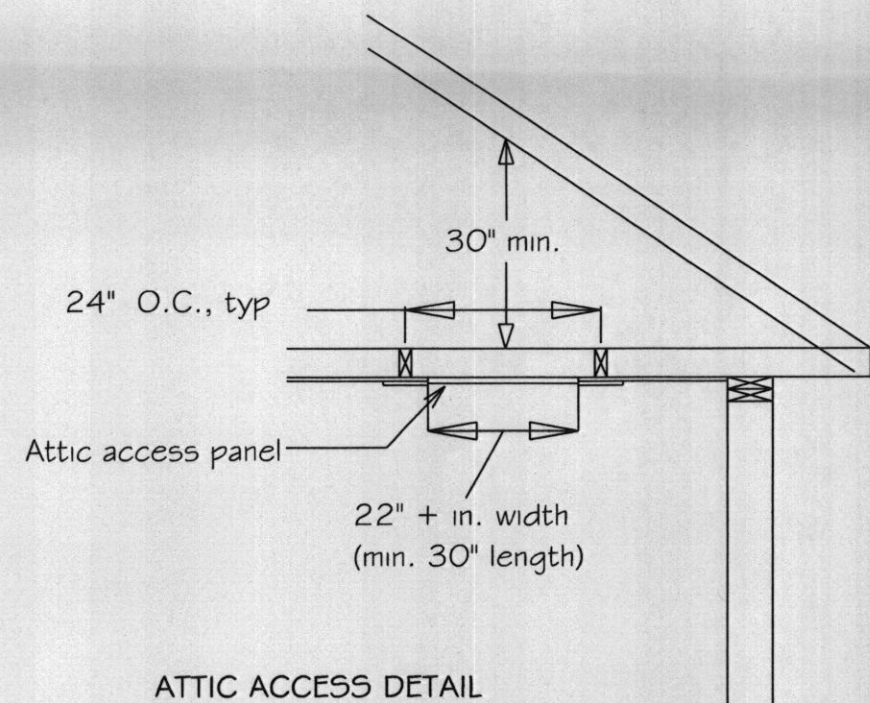
- GREEN-BOARD IN BATHS - PROVIDE (1/2) INCH GYPSUM BOARD UNDER ALL STAIRS
- PROVIDE CEMENT, CEMENT FIBER OR GLASS MAT GYPSUM BACKERS FOR WALL TUB OR WALL SHOWER

EXTERIOR WALL

- VINYL SIDING, ATTACH TO STUDS, SHALL COMPLY WITH ASTM D 3679
- (2) INCH STONE VENEER, APPLY OVER WEATHER-RESISTANT BUILDING PAPER, WIRE MESH & MASONRY FARGE
- FLASHING FOR MASONRY VENEERS - APPROVED CORROSION-RESISTIVE FLASHING APPLICATIONS:
 - (1) AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS
 - (2) AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS
 - (3) UNDER OR AT ENDS OF MASONRY, WOOD OR METAL COPING & SILLS
 - (4) CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
 - (5) WHERE EXTERIOR PORCHES, DECKS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION
 - (6) AT WALL AND ROOF INTERSECTIONS

ROOF - CEILING CONSTRUCTION (CHAPTER 8)

- ALL ROOF FRAMING MEMBERS ARE BASED ON #2 OR BETTER GRADE, SPRUCE-PINE-FIR
- 22" X 30" ATTIC ACCESS OPENINGS SHALL BE INSTALLED IN ATTIC AREAS THAT EXCEED (30) SQ. FEET AND HAS A VERTICAL HEIGHT AT (30) INCHES OR GREATER. ACCESS SHALL BE LOCATED IN HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A (30) INCH MIN. HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. (SEE DETAIL BELOW)
- PROVIDE DRYWALL ON ATTIC ACCESS PANEL



- WOOD TRUSSES SHALL BE DESIGNED BY A REGISTERED ENGINEER. MUST PROVIDE CUT-SHEETS TO CODE OFFICIAL PRIOR TO INSTALLATION.
- PROVIDE VENTED SOFFIT AND CONTINUOUS ROOF RIDGE VENT AT ALL ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES.
- PROVIDE HURRICANE TIES TO ALL ROOF TRUSSES AND AT RAFTERS AT COVERED PORCHES AND BALCONIES

ROOF ASSEMBLIES (CHAPTER 9)

- PROVIDE PROPER FLASHING AT ALL WALL TO ROOF CONNECTIONS, AROUND CHIMNEYS AND ALL ROOF OPENINGS
- PROVIDE ICE & WATER SHIELD FROM THE EAVES EDGE TO A POINT AT LEAST (24) INCHES INSIDE THE EXTERIOR WALL LINE OF BUILDING.

CHIMNEYS AND FIREPLACES (CHAPTER 10)

- FOOTINGS FOR MASONRY FIREPLACES AND CHIMNEYS SHALL HAVE A MIN. OF (12) INCHES THICK CONCRETE AND SHALL EXTEND (6) INCHES BEYOND EDGE OF CHIMNEY WALLS. SHALL BE INSTALLED BELOW FROST LINE.
- CHIMNEYS SHALL HAVE A MIN. OF (1) INCH CLEARANCE ON OUTSIDE AND (2) INCH CLEARANCE ON INSIDE OF COMBUSTIBLE MATERIALS
- ALL GAS FIREPLACES SHALL BE INSTALLED BY MANUFACTURE SPECIFICATIONS
- HOMEOWNER OR CONTRACTOR TO PROVIDE CUT SHEETS TO CODE OFFICIAL PRIOR TO INSTALLATION CHIMNEY TYPE, MODEL AND ETC.

WINDOW AND DOOR NOTES

- THE EXTERIOR LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 3/4 INCHES (186MM) BELOW THE TOP OF THE THRESHOLD, PROVIDE THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING
- BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST (1) OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING. A (36) INCH X (6) FEET (8) INCH DOOR, DIRECT TO OUTSIDE IS ALLOWED FOR EGRESS (DOOR TO HAVE BULKHEAD ENCLOSURE)
- EGRESS WINDOWS TO HAVE A MIN. OF (5.7) SQ. FT. CLEAR OPENING, WITH A MIN. (24) INCH OPENING HEIGHT AND MIN. (20) INCH OPENING WIDTH. GRADE FLOOR OPENINGS ARE ACCEPTED TO HAVE A (5) SQ. FT. CLEAR OPENING
- ALL EGRESS UNITS SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF TOOLS OR KEYS
- WINDOW WELLS - THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE (9) SQ. FT. WITH A MIN. HORIZONTAL PROJECTION AND WIDTH OF (36) INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED
- WINDOW SILLS TO BE MINIMUM 24" ABOVE FINISHED FLOOR WHERE OUTSIDE GRADE EXCEEDS 6'-0" BELOW WINDOW SILLS - OR IT MUST BE EQUIPPED WITH A FALL PROTECTION DEVICE, OR MUST BE EQUIPPED WITH A SELF-ACTING WINDOW OPENING LIMITING DEVICE TO NOT ALLOW MORE THAN A 4" SPHERE TO PASS.

FLOORS (CHAPTER 5) - CONTINUED

- OPENINGS IN FLOOR FRAMING SHALL BE FRAMED WITH A HEADER AND TRIMMER JOIST. WHEN THE HEADER JOIST DOES NOT EXCEED (4) FEET, THE HEADER JOIST MAY BE A SINGLE MEMBER THE SAME SIZE AS THE FLOOR JOIST. SINGLE TRIMMER JOIST MAY BE USED TO CARRY A SINGLE HEADER JOIST THAT IS WITHIN (3) FEET OF TRIMMER JOIST BEARING. WHEN THE HEADER JOIST SPANS MORE THAN (4) FEET, THE TRIMMER JOIST AND HEADER JOIST SHALL BE DOUBLED. APPROVED HANGER SHALL BE USED FOR HEADER TO TRIMMER JOIST CONNECTIONS IF HEADER JOIST SPANS MORE THAN (6) FEET.
- DRAFTSTOPPING - SEE DETAIL FB-1 OR FB-2 (WHICHEVER IS APPLICABLE)
- ALSO PROVIDE SHEATHING ON BACK SIDE OF ALL VERTICAL KNEE WALLS.

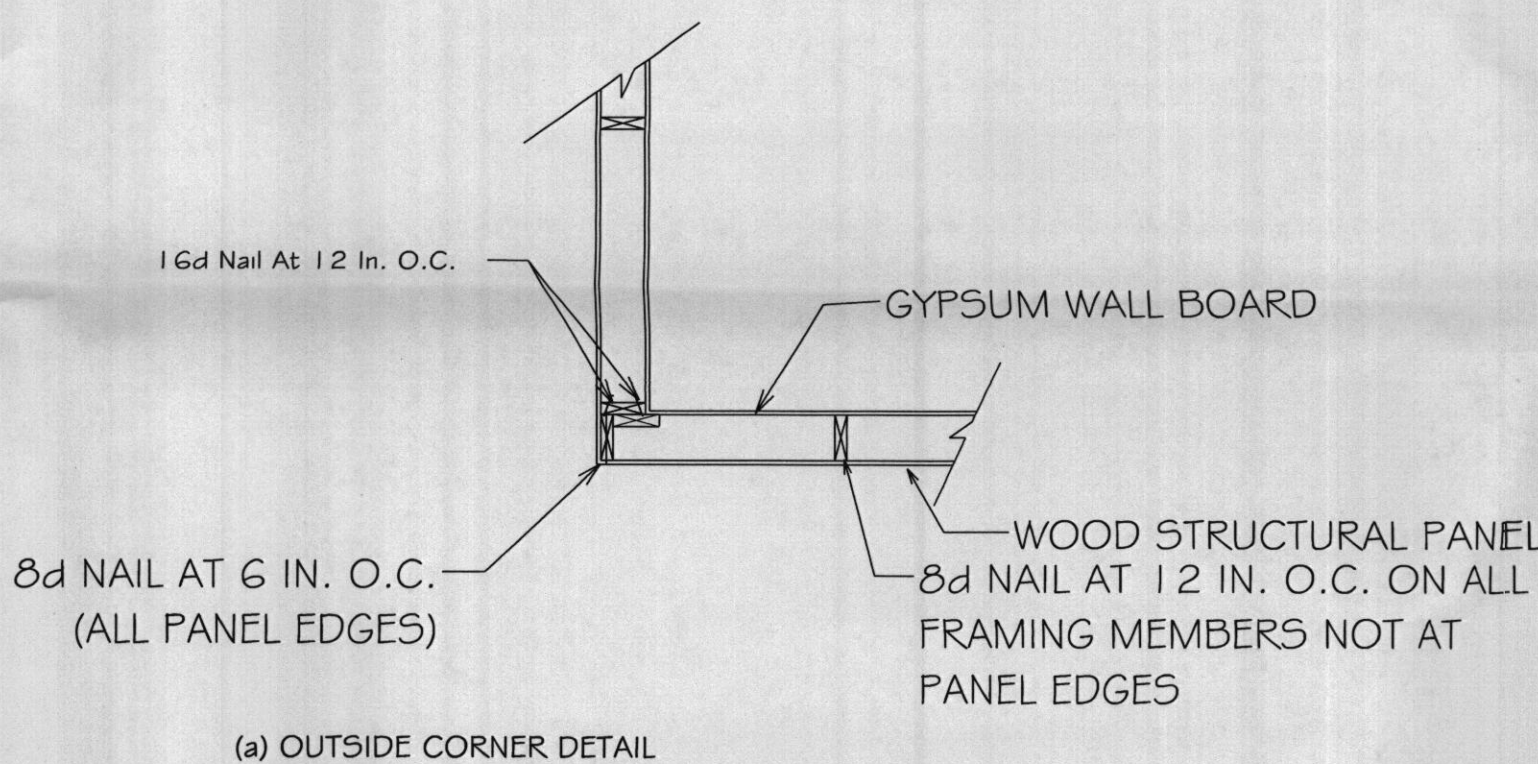
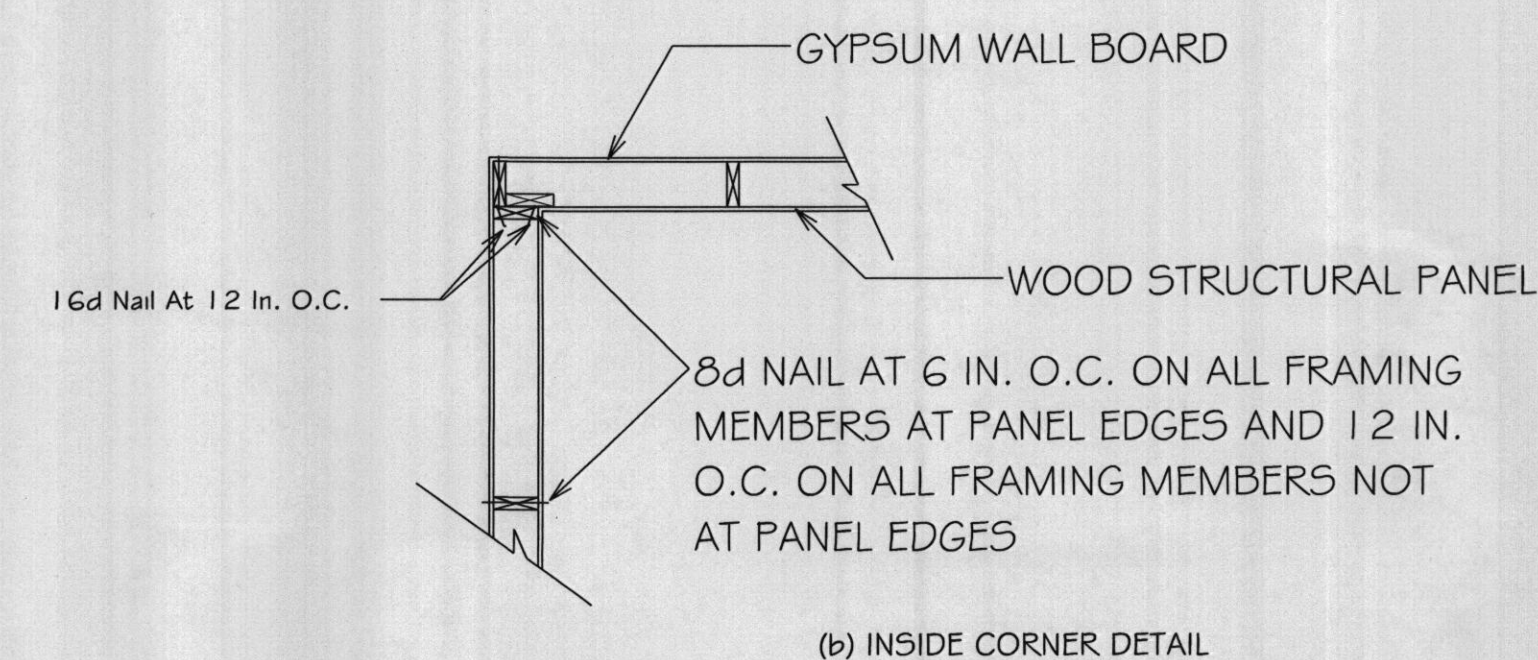
WALL CONSTRUCTION (CHAPTER 6)

- SIZE, HEIGHT AND SPACING OF WOOD STUDS. (SEE TABLE BELOW)

STUD SIZE (INCHES)	BEARING WALLS				NONBEARING WALLS	
	Laterally Unrestrained Stud Height (feet)	Maximum spacing when supporting one floor, roof and ceiling (inches)	Maximum spacing when supporting two floors, roof and ceiling (inches)	Maximum spacing when supporting one floor only (inches)	Laterally Unrestrained Stud Height (feet)	Maximum spacing (inches)
2 X 3	10	24	16	10	16	16
2 X 4	10	24	16	10	14	24
2 X 4	10	24	24	10	14	24
2 X 6	10	24	24	16	16	24

- FASTENING (SEE TABLE ON THIS SHEET)
- TOP PLATE - PROVIDE DOUBLE TOP PLATE AT ALL BEARING WALLS, MIN. (24) INCHES AT OVERLAPPING AT END JOINTS
- PROVIDE DOUBLE JACK STUDS BELOW ANY HEADER OVER (5) FEET. TRIPLE JACK STUDS BELOW ANY HEADER OVER (14) FEET

EXTERIOR CORNER FRAMING



ALL STRUCTURAL HEADERS (SEE HEADER SCHEDULE)

DRILLING AND NOTCHING - STUDS

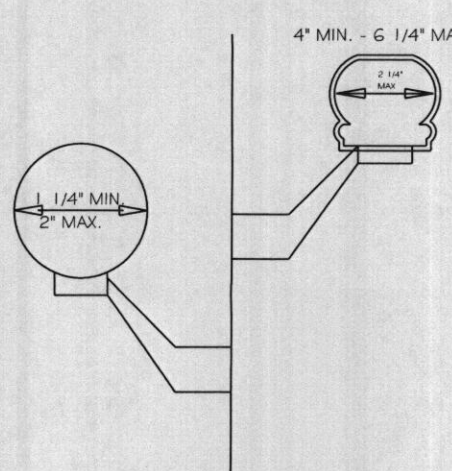
ANY STUD IN AN EXTERIOR OR BEARING WALL MAY BE CUT OR NOTCHED BY 25% OF ITS WIDTH. 40% ON NON-BEARING WALLS. ANY STUD MAY BE DRILLED BY A DIAMETER OF 40% OF STUD WIDTH. THE EDGE OF THE HOLE NO CLOSER THAN (5/8) INCH TO THE EDGE OF THE STUD. A DOUBLE STUD MAY BE DRILLED BY 60% OF ITS WIDTH. DRILLING OR NOTCHING OF TOP PLATES TO BE NO MORE THAN 50% OF ITS WIDTH, UNLESS USE OF A (1 1/2) INCH GALV. METAL TIE ACROSS EACH PLATE FASTENED WITH MIN. (8) 16D NAILS AT EACH SIDE OR WHEN THE ENTIRE WALL WITH THE NOTCH IS COVERED WITH WOOD STRUCTURAL SHEATHING.

- FIREBLOCKING AND DRAFTSTOPPING, (SEE CHAPTER 3)

STAIR AND HANDRAIL SPECIFICATIONS

- STAIRS SHALL NOT BE LESS THAN (36) INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED (6) FEET (8) INCHES HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN (4 1/2) INCHES ON EITHER SIDE OF STAIRWAY (EXCEPTIONS AT SPIRAL STAIRS)
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH (4) OR MORE RISERS, HANDRAILS SHALL BE BETWEEN (34) INCHES AND (38) INCHES VERTICALLY FROM TREAD NOSING. HANDRAILS SHALL BE CONTINUOUS FROM DIRECTLY ABOVE TOP RISER TO DIRECTLY ABOVE BOTTOM RISER.
HANDRAIL END SHALL TERMINATE TO WALL OR NEWEL POST.
- ALL REQUIRED HANDRAILS SHALL BE (1) OF THE FOLLOWING TYPES OR EQUAL GRASPABILITY. (SEE DETAIL BELOW)

TYPE 1 Handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 1 1/4 inches (160 mm) with a maximum cross section dimension 2 1/4 inches (57 mm).



- STAIR TREADS TO BE MIN. OF (8) INCHES WITH (1) INCH NOSING.
- STAIR RISERS TO BE MAX. OF (8 1/4) INCHES
- STAIR LANDINGS - THERE SHALL BE A FLOOR OR LANDING AT TOP AND BOTTOM OF EACH STAIRWAY
- THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE STAIRWAY SERVED. LANDING SHALL HAVE A MIN. OF (36) INCHES IN DIRECTION OF TRAVEL. (EXCEPTION) AN INTERIOR FLIGHT OF STAIRS IS NOT REQUIRED A LANDING ON TOP, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS
- GUARDS AT STAIRS, BALCONIES AND PORCHES SHALL BE PROVIDED IF WALKING SURFACE IS HIGHER THAN (30) INCHES ABOVE GRADE LEVEL. MEASUREMENT SHALL BE MADE 36" HORIZONTALLY FROM DECK, PORCH OR STAIRWAYS WITH (4) OR MORE RISERS. THE HEIGHT OF GUARDS SHALL BE MIN. (36) INCHES FROM FLOOR TO TOP OF GUARD. INTERMEDIATE RAILS SHALL HAVE MAX. SPACING OF (4) INCHES BETWEEN EACH RAIL.

BUILDING PLANNING (CHAPTER 3) - CONTINUED

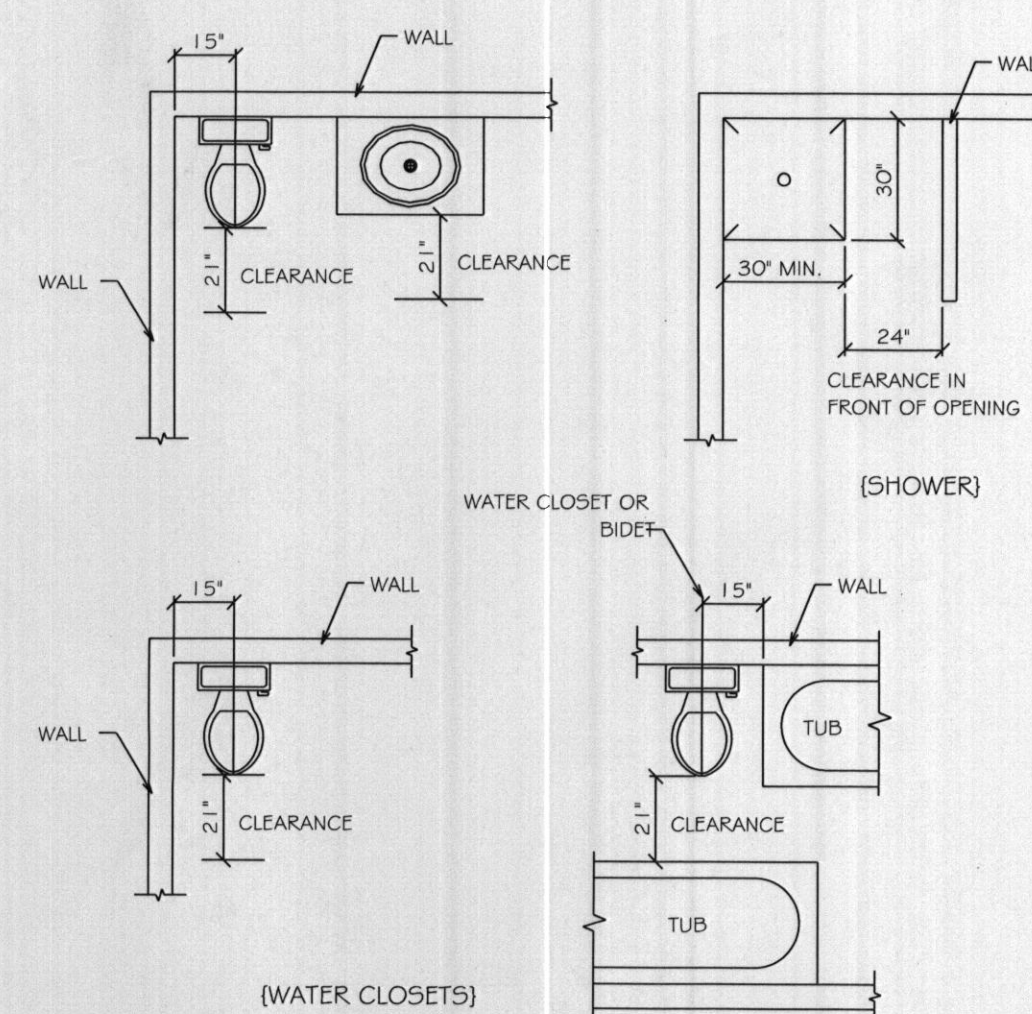


FIGURE R307.1 MINIMUM FIXTURE CLEARANCES

FOUNDATIONS (CHAPTER 4)

- SOIL IS BASED ON VIRGIN SOIL WITH NO BACKFILL UNDER FOUNDATIONS
- ALL STEEL COLUMNS & BEAMS SHALL HAVE A SHOP COAT OF RUST INHIBITIVE PAINT
- ANY WOOD TO MASONRY CONTACTS SHALL BE PRESSURE-TREATED WOOD
- WOOD SILL PLATES SHALL BE ANCHORED TO FOUNDATION WITH ANCHOR BOLTS SPACED AT MAX. 6'-0" O.C. MIN. (2) BOLTS PER PLATE SECTION, MAX. (12) MIN. (4") FROM CORNERS. BOLTS SHALL EXTEND A MIN. (15) INCHES INTO MASONRY AND (7) INCHES INTO CONCRETE. NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE. ALL ANCHOR BOLTS THROUGH PRESSURE TREATED WOOD LESS THAN 1/2 INCH DIAMETER SHALL BE OF HOT DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER
- ALL PRECAST WALLS, PRECAST WALL FOUNDATIONS AND PRECAST WALL BRACING BY MANUFACTURER SPECIFICATIONS
- MAX. WALL HEIGHT, MAX. UNBALANCED FILL HEIGHT, MIN. NOMINAL WALL THICKNESS

- REINFORCEMENT SIZE & SPACING ON POURED CONC. WALLS
- CONCRETE WALL CONTRACTOR TO PROVIDE CODE OFFICIAL WITH CUT-SHEET.)
- PROVIDE (4) INCH PVC PERFORATED PIPE AROUND PERIMETER OF FOUNDATION. CRUSHED STONE SHALL EXTEND AT LEAST (1) FOOT BEYOND OUTSIDE EDGE OF FOOTING OR WALL AND (6) INCHES ABOVE TOP OF FOOTING AND TO BE COVERED WITH FILTER MEMBRANE MATERIAL. PERFORATED PIPE TO BE IMBEDDED IN CRUSHED STONE WITH MIN. (2) INCHES BELOW AND (6) INCHES ABOVE, AND DRAINED INTO SUMP PIT OR TO GRADE. A DRAINAGE SYSTEM IS NOT REQUIRED, BUT IS RECOMMENDED FOR GROUP 1 SOILS.
- VERTICAL WALL REINFORCEMENT THAT IS INTERRUPTED BY WALL OPENINGS SHALL HAVE ADDITIONAL VERTICAL REINFORCEMENT OF THE SAME SIZE PLACED WITHIN 12 INCHES OF EACH SIDE OF THE OPENING.

DAMP-PROOFING

- ALL PRECAST WALLS SHALL BE DAMP-PROOFED OR WATERPROOFED.
- MASONRY WALLS BELOW GRADE SHALL HAVE A MIN. (3/8) INCH PORTLAND CEMENT PARGING AND 40 MIL. POLYMER-MODIFIED ASPHALT APPLIED TO EXTERIOR OF WALL. (SEE SECTION R 406.1 FOR MORE OPTIONS)
- IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE. (SEE SECTION 406.2 FOR OPTIONS)

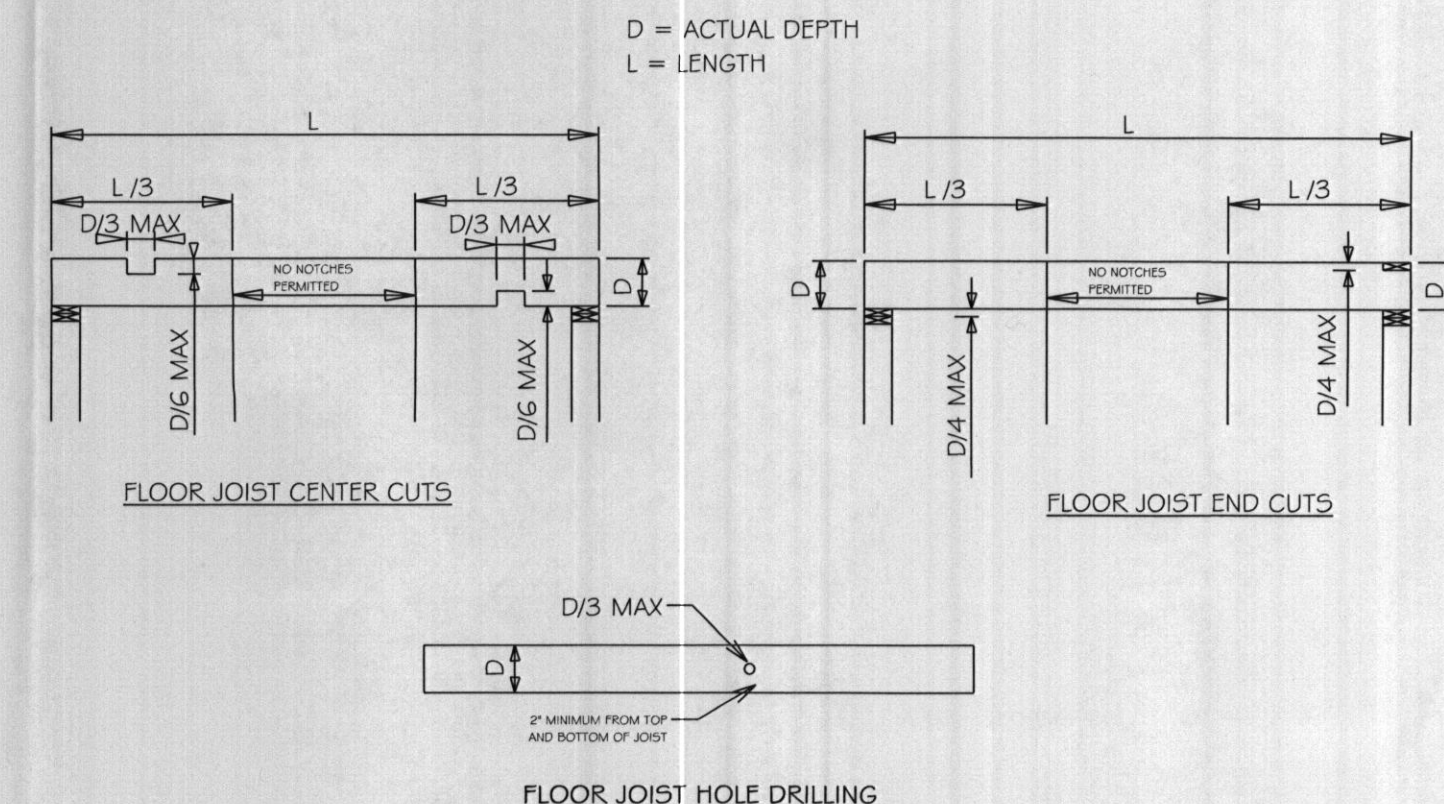
COLUMNS

STEEL COLUMNS SHALL BE MIN. (4) INCH DIAMETER STANDARD PIPE COLUMN OR APPROVED EQUIVALENT. SHALL HAVE SHOP COAT OF RUST-INHIBITIVE PAINT. COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT BOTTOM END.
ALL WOOD COLUMNS PROVIDE POST PROTECTION BETWEEN CONCRETE AND WOOD.

FLOORS (CHAPTER 5)

ALL STRUCTURAL GRADE LUMBER SHALL BE SPRUCE-PINE-FIR #2 UNLESS OTHERWISE NOTED

- ALL FLOOR JOIST, BEAMS, AND GIRDERS SHALL HAVE A MIN. OF (1 1/2) INCH BEARING ON WOOD OR METAL AND (3) INCH MIN. ON MASONRY
- FLOOR JOIST FRAMING FROM OPPOSITE SIDE OVER A BEARING SUPPORT SHALL LAP A MIN. OF (3) INCHES AND NAILED TOGETHER WITH MIN. (3) 10D FACE NAILS.
- DRILLING AND NOTCHING OF FLOOR JOIST, (SEE DETAIL BELOW)



ALL CONSTRUCTION SHALL COMPLY WITH 2009 IRC CODE

BUILDING PLANNING (CHAPTER 3)

SITE ADDRESS

R319.1 ADDRESS NUMBERS. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL NUMBERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

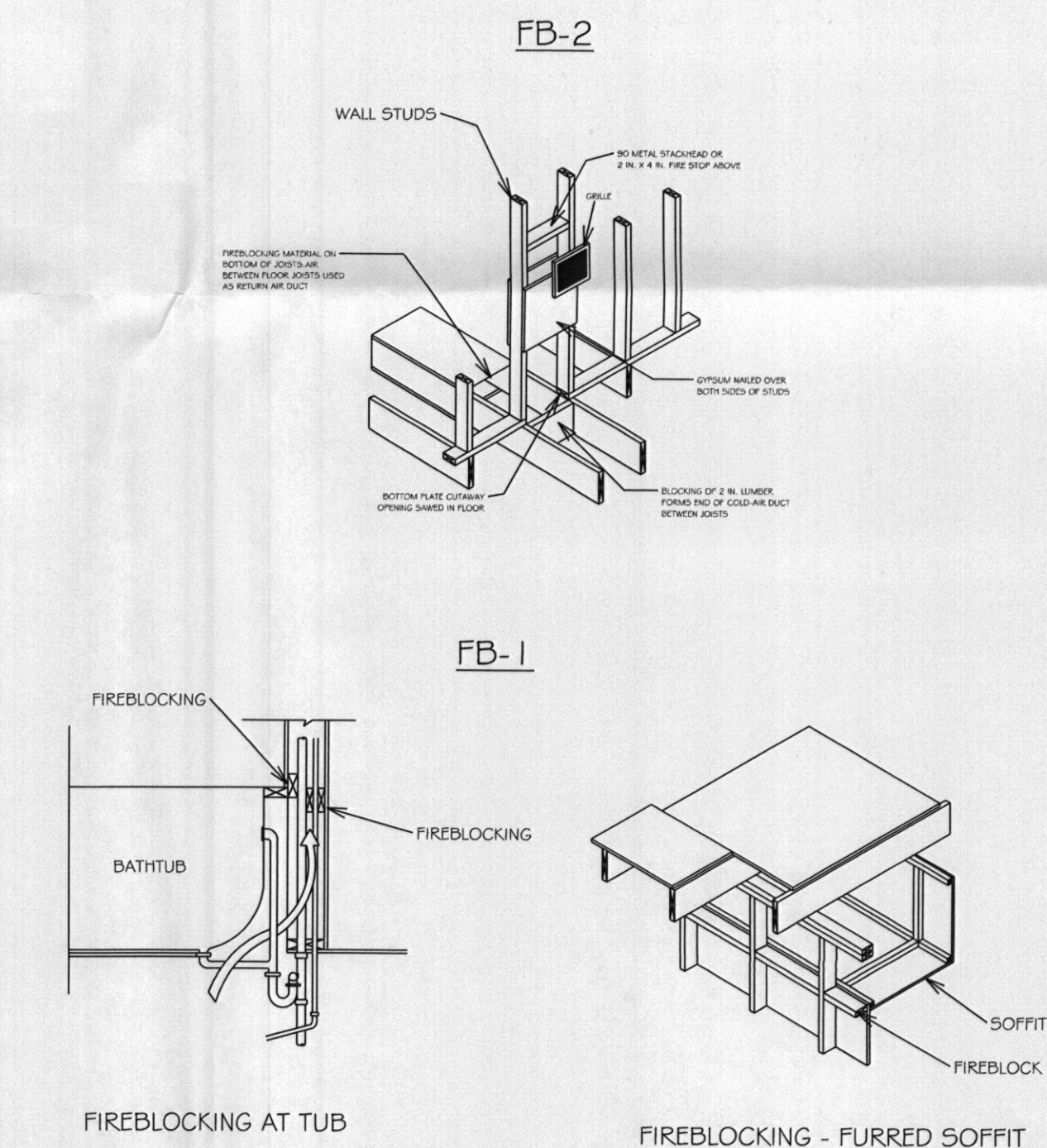
HEATING REQUIREMENTS SHALL BE AS FOLLOWS = WINTER DESIGN TEMPERATURE IS BELOW 60 F. THEREFORE HEATING UNIT MUST BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMP. OF 68 F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. PORTABLE SPACE HEATERS SHALL NOT BE USED TO COMPLY WITH THIS SECTION MATERIALS, DESIGN, CONSTRUCTION AND INSTALLATION OF SANITARY DRAINAGE SYSTEMS AS PER (CHAPTER 30)

THERMAL BARRIER

ALL FOAM OR FIBERGLASS INSULATION, EXCEPT OTHERWISE NOTED, SHALL BE SEPERATED FROM THE INTERIOR OF A BUILDING BY MINIMUM 1/2 INCH DRYWALL OR EQUIVALENT

WALL & CEILING

FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS TO FORM A FIRE BARRIER BETWEEN STORIES AND BETWEEN TOP STORY AND ROOF SPACE.
(1) VERTICAL BLOCKING AT CEILING AND FLOOR LEVELS
(2) HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'-0"
(3) AT ALL INTERIOR SOFFITS, DROP CEILINGS AND COVE CEILINGS
(4) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
(5) AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL (SEE DETAIL FB-1, FB-2 WHICHEVER IS APPLICABLE)
(6) CHIMNEY FIREBLOCKING, ALL SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THRU WHICH CHIMNEYS PASS SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS SECURELY FASTENED IN PLACE. THE FIREBLOCKING OF SPACES BETWEEN CHIMNEYS AND WOOD JOIST, BEAM OR HEADERS SHALL BE TO A DEPTH OF (1) INCH, AND SHALL BE PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIALS AND THE CHIMNEY
(7) WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200, AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.



CEILING HEIGHT

MINIMUM HEIGHT. HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.

EXCEPTIONS:

1. FOR ROOMS WITH SLOPED CEILINGS, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
2. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES AT THE CENTER OF THE FRONT CLEARANCE AREA FOR FIXTURES AS SHOWN IN FIGURE R307.1. THE CEILING HEIGHT ABOVE FIXTURES SHALL BE SUCH THAT THE FIXTURE IS CAPABLE OF BEING USED FOR ITS INTENDED PURPOSE. A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES ABOVE A MINIMUM AREA 30 INCHES BY 30 INCHES AT THE SHOWERHEAD.

ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS
THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS. THESE DRAWINGS SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM ARCHITECT. ANY STRUCTURAL CHANGES THAT AFFECT THESE DRAWINGS MUST BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION

DATE	DESCRIPTION	BY	
		P.L.	R.L.
08/20/13	PRELIMINARY		
10/09/13	FINAL		

JOHN R. ESH
DRAWN BY:
DRAFTING CONCEPTS LLC
ARCHITECTURAL DRAFTING
5219 OLD STRASBURG RD.
KINZERS, PA. 17535
717-442-5053
DRAFTER: REUBEN LAPP

SITE: 8476 OLD FREDERICK RD.
ELLICOTT CITY, MD. 21042
HOWARD, CO.
CONTRACTOR: MT. VERNON CONSTRUCTION
1362 ZOOK LN.
ATGLEN, PA. 19310
PH: #610-656-9390

A ADDITION FOR:
STEVE KIRCHNER
8476 OLD FREDERICK RD.
ELLICOTT CITY, MD. 21042

CODE NOTES
DATE: 08/20/13
SCALE: AS NOTED
DRAWING NO: R169-13
4