

LAYOUT 9/9/05 INSP 4 \_\_\_\_\_  
INSP 2 \_\_\_\_\_ INSP 5 \_\_\_\_\_  
INSP 3 \_\_\_\_\_ INSP 6 \_\_\_\_\_

ISSUE DATE: 9/7/2005

APPROVAL DATE: 9/23/2005

# PERMIT

INDEXED

TAX ID #05-427061

P 523268

A 56366-C

## ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL  ALTER

ADDRESS: 580 Obrecht Road PHONE NUMBER: 410-795-5670

SUBDIVISION: Van't Hoff Property LOT NUMBER: 4

ADDRESS: 6555 Paper Place PROPERTY OWNER: Greenfield Homes

SEPTIC TANK CAPACITY (GALLONS): 1250 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): n/a COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 180

LINEAR FEET OF TRENCH REQUIRED: 150 HOUSE SERVED BY PUBLIC WATER

TRENCHES:	Trench to be 3.0 feet wide. Inlet 2.0 feet below original grade. Bottom maximum depth 4.0 feet below original grade. Effective area begins at 2.0 feet below original grade. 2.0 feet of stone below distribution pipe.
LOCATION:	Place the distribution box in the highest elevation of the approved SDA.
NOTES:	

PLANS APPROVED: Peter Yencsik Reviewed by: KJB DATE: 7/5/05

NOTES: PERMIT VOID AFTER 2 YEARS  
CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS  
WATERTIGHT SEPTIC TANKS REQUIRED  
ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL UNLESS SPECIFICALLY AUTHORIZED  
MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED  
CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE REGULATIONS, GUIDELINES AND THE TERMS OF THIS PERMIT

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS  
RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM  
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT  
ALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

**BUILDING PERMIT SIGNED  
AND RETURNED**

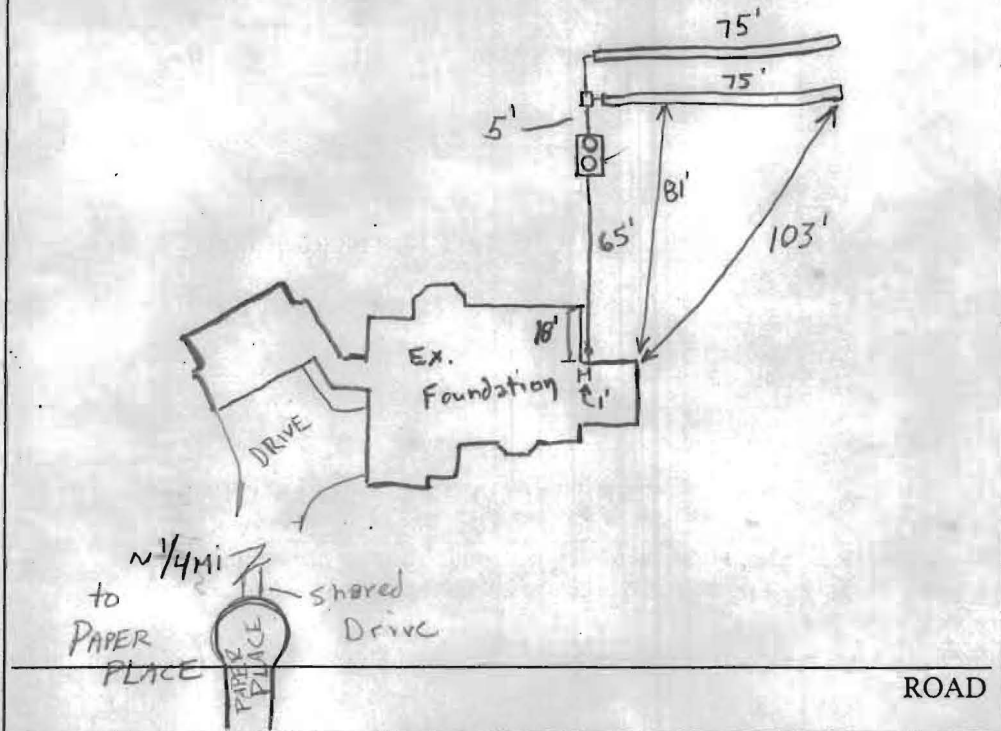
12/28/05 B00157435 (2) 1000 gal UG Propane Tanks

P523268

NOT TO SCALE

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3	2'	4'
NUMBER OF TRENCHES		2
TOTAL LENGTH		150
ABSORPTION AREA		450+sqw
DISTRIBUTION BOX LEVEL		✓
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		No

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	yes
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	< 1'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Inlet & Outlet
6" PORT LOC	NA
WATERTIGHT TEST	No
<del>SEPTIC TANK 2 LEVEL</del>	
<del>CAPACITY _____ GAL</del>	
<del>SEAM LOC _____</del>	
<del>TANK LID DEPTH _____</del>	
<del>BAFFLES _____</del>	
<del>BAFFLE FILTER _____</del>	
<del>MANHOLE LOC _____</del>	
<del>6" PORT LOC _____</del>	
<del>WATERTIGHT TEST _____</del>	



PRE-CONSTRUCTION Run 2x 75' trenches to the Right side of easement when facing easement with back to house. Keep on Contour by wrapping ends

INSTALLATION slightly. Call if problems are encountered. Make sure of fall. place cleanout if house conn. longer than 70'. 9/23/05 Missed Inspection

(9/22/05) System already covered. Checked everything w/ a soil probe was able to get all measurements. Everything seems to be according to layout did not visual baffles in S. tank or D-box but should be there. Babylon Tank.

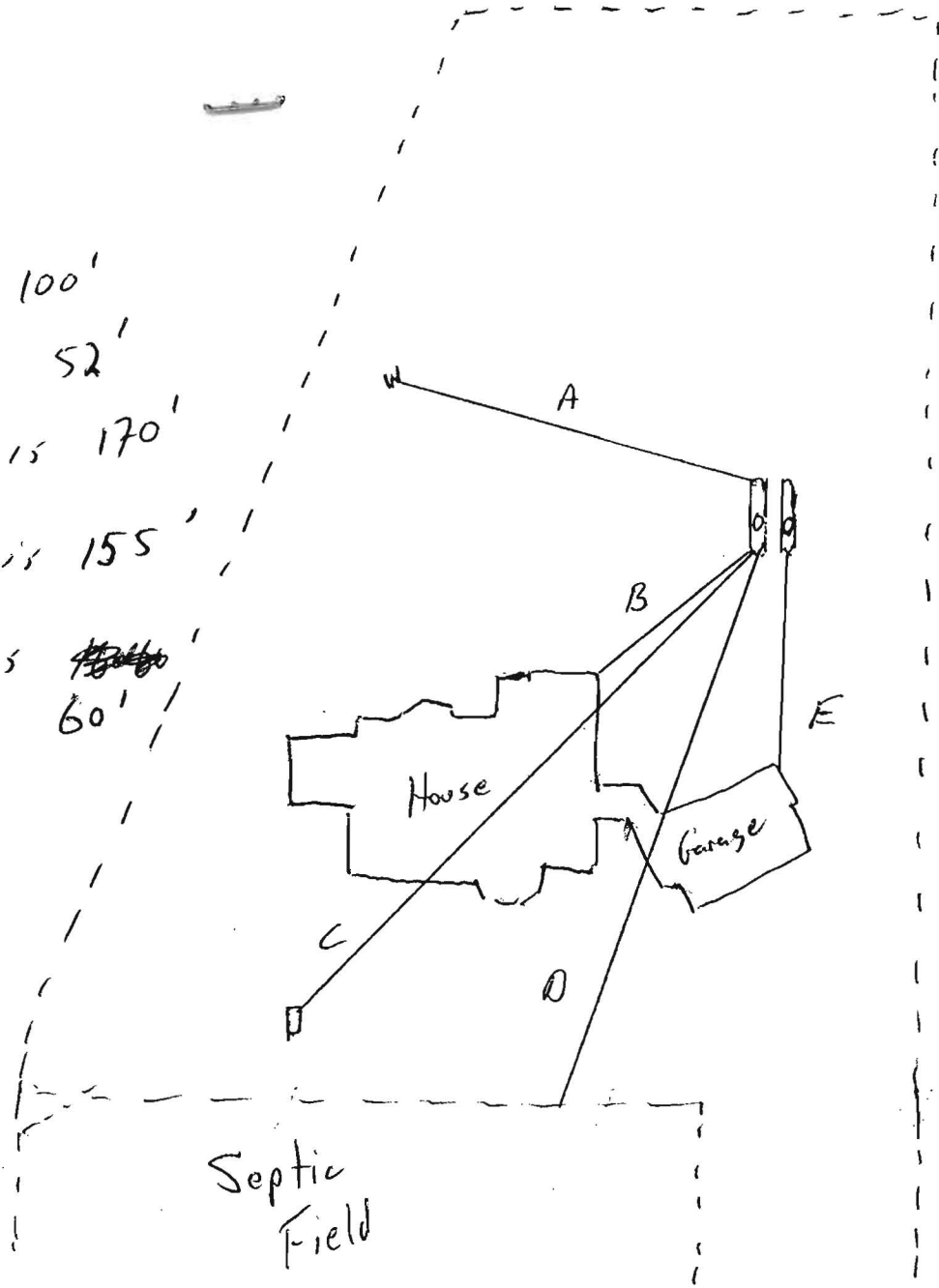
BUILDING PERMIT SIGNED  
AND RETURNED

FINAL INSPECTOR Robert A. Crecy DATE OF APPROVAL 9/23/05

6555 Paper Place  
Highland, md

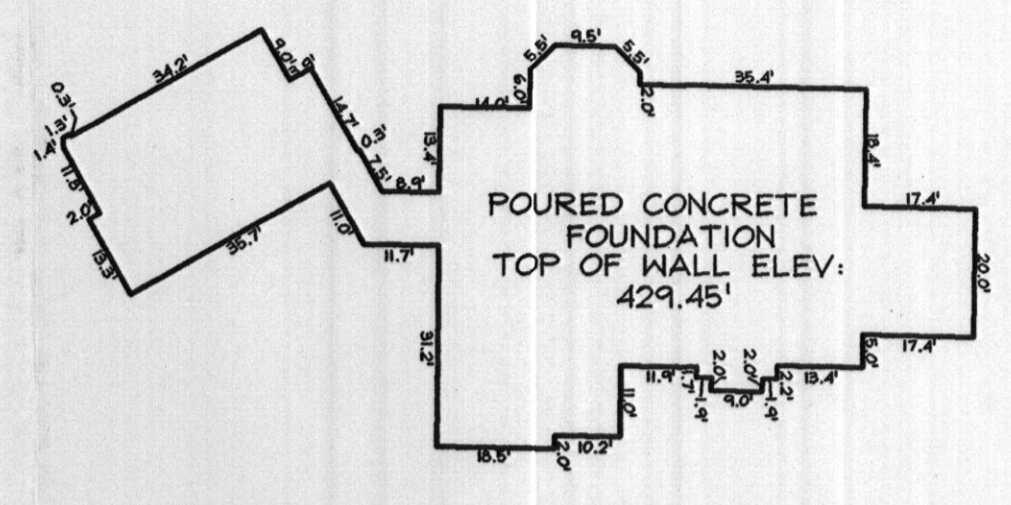
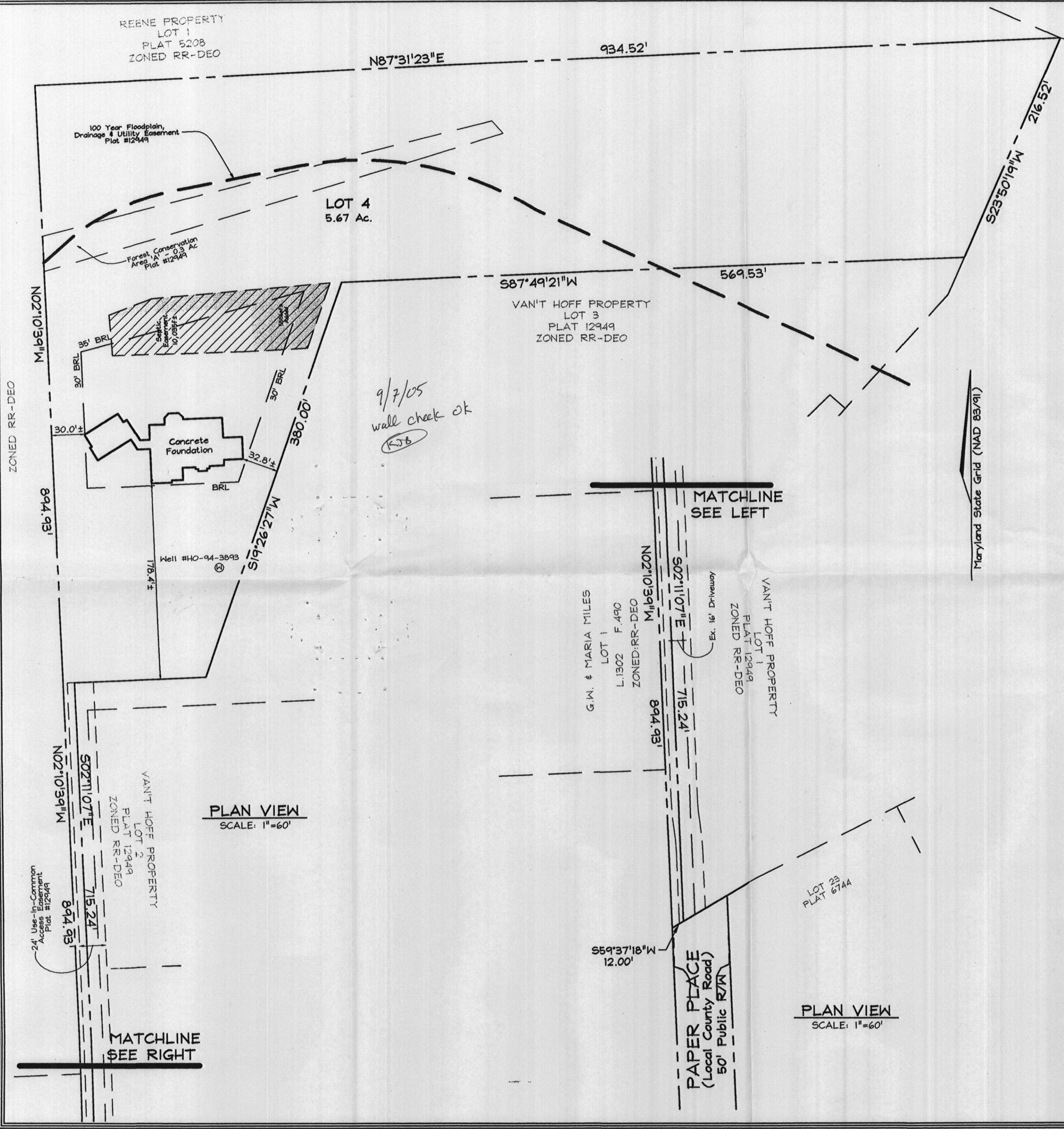
- A) From tank to well is 100'
- B) " " " house is 52'
- C) " " " Septic tank is 170'
- D) " " " Field is 155'
- E) " " " Garage is ~~150'~~ 60'

Scale is 1" = 50'



12/28/05

Proposed LP tank location  
OK (KJB)



**FOUNDATION DETAIL**  
SCALE: 1"=30'

9/7/05  
wall check OK  
KJB

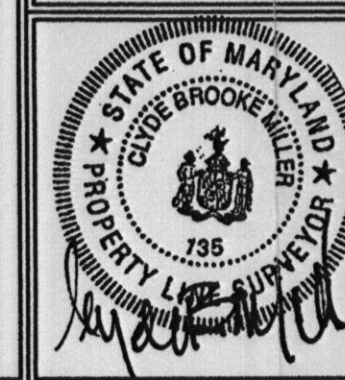
**PLAN VIEW**  
SCALE: 1"=60'

**PLAN VIEW**  
SCALE: 1"=60'

GREENFIELD HOMES INC  
BOO 154648  
FOGLES SEPTIC INSTALLER  
LEGEND

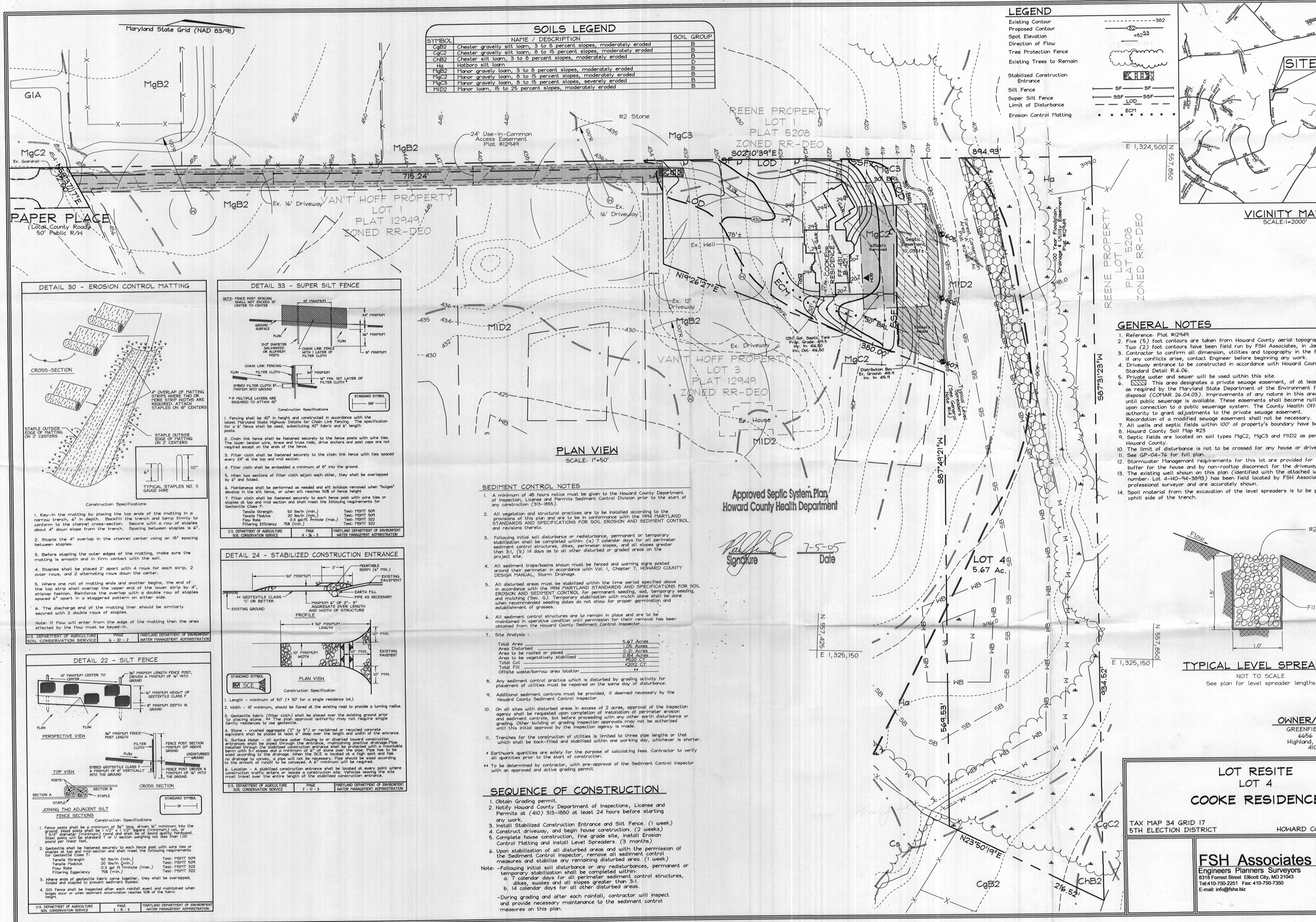
- F/P = FIREPLACE
  - B/W = BAY WINDOW
  - D/W = DRIVEWAY
  - CONC = CONCRETE
  - O/H = OVERHANG
  - H/P = HEAT PUMP/AIR COND.
  - G/M = GAS METER
  - E/M = ELECTRIC METER
- DIMENSIONS FROM FOUNDATION WALL TO PROPERTY LINE ARE ±0.1'
- ADDRESS No.: 6555 PAPER PLACE  
TOP OF WALL ELEV. = 429.45' FIRST FLOOR ELEV. = N/A
- THE LOCATION DRAWING IS OF BENEFIT TO THE CONSUMER ONLY IN SO FAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
- THE LOCATION DRAWING IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
- AND THE LOCATION DRAWING DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.

**LOT 4 WALL CHECK**  
VAN'T HOFF CHECK  
PLAT #12949  
TAX MAP 34 GRID 17  
5TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND



**FSH Associates**  
Engineers Planners Surveyors  
8318 Forrest Street Ellicott City, MD 21043  
Tel: 410-750-2251 Fax: 410-750-7350  
E-mail: info@fsha.biz

WALL CHECK	
FOUNDATION	Date: 08/29/05
FINAL	Date:
DRAWN BY:	MD
SCALE:	1" = 60'
W.O. No.:	3199

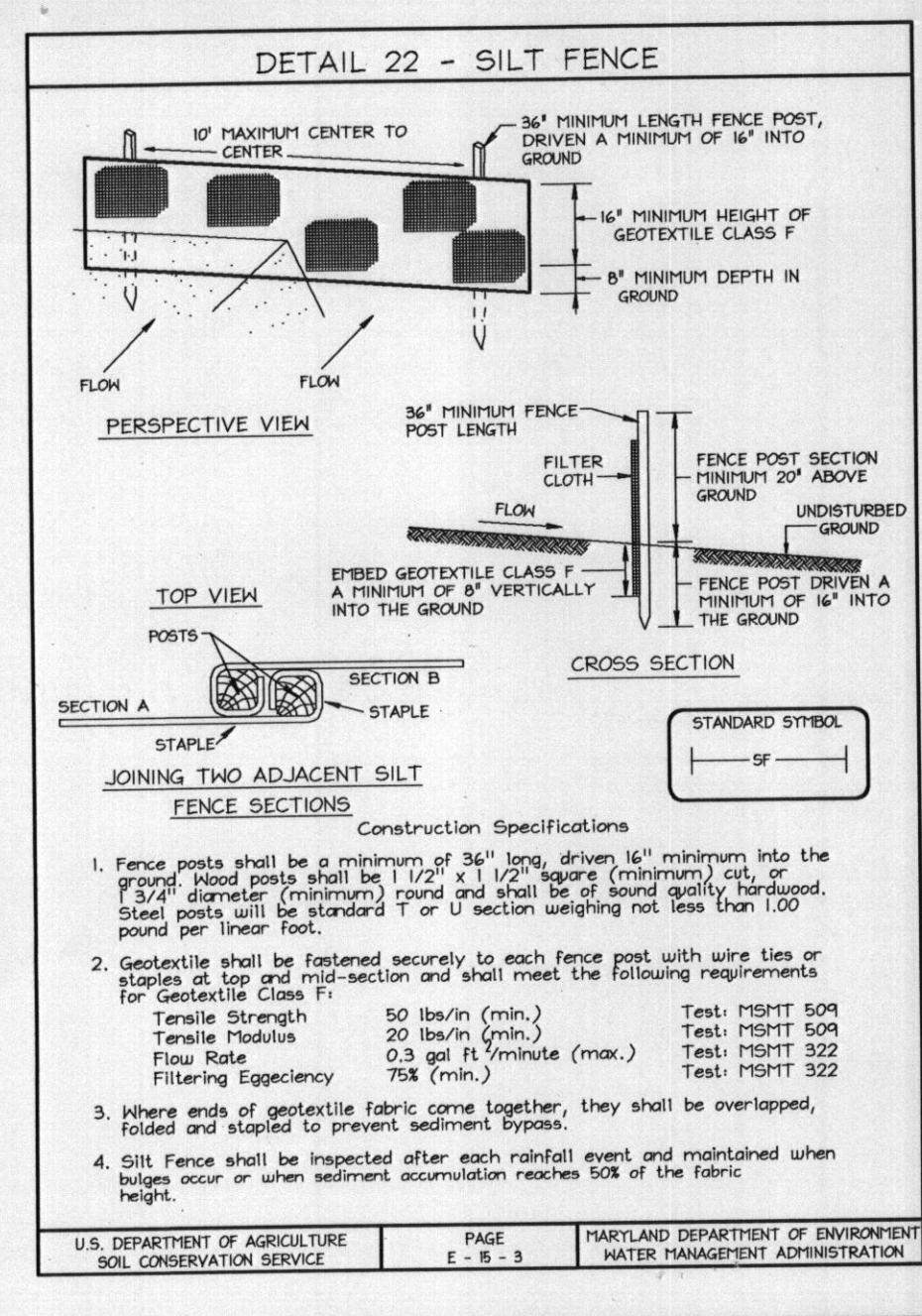
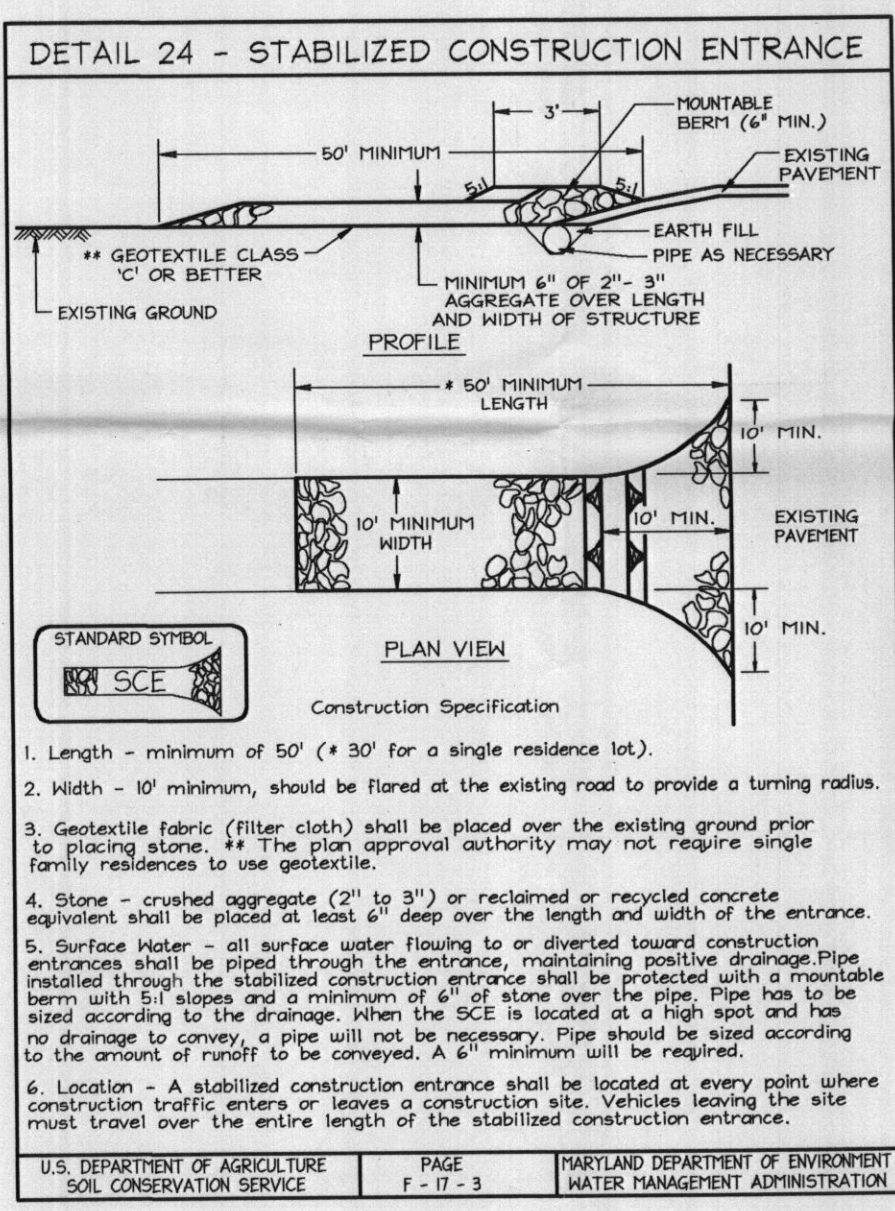
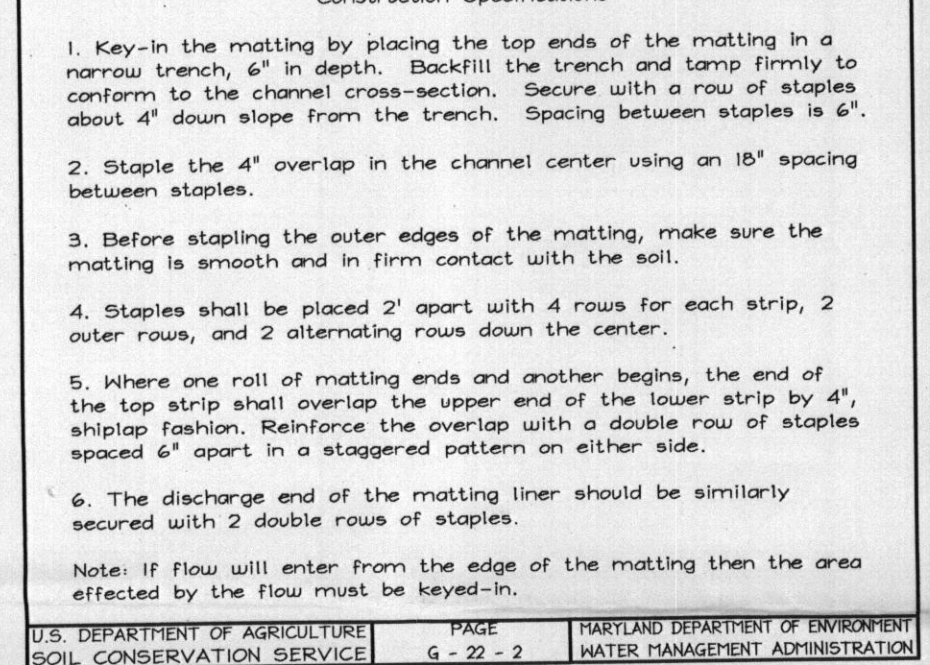
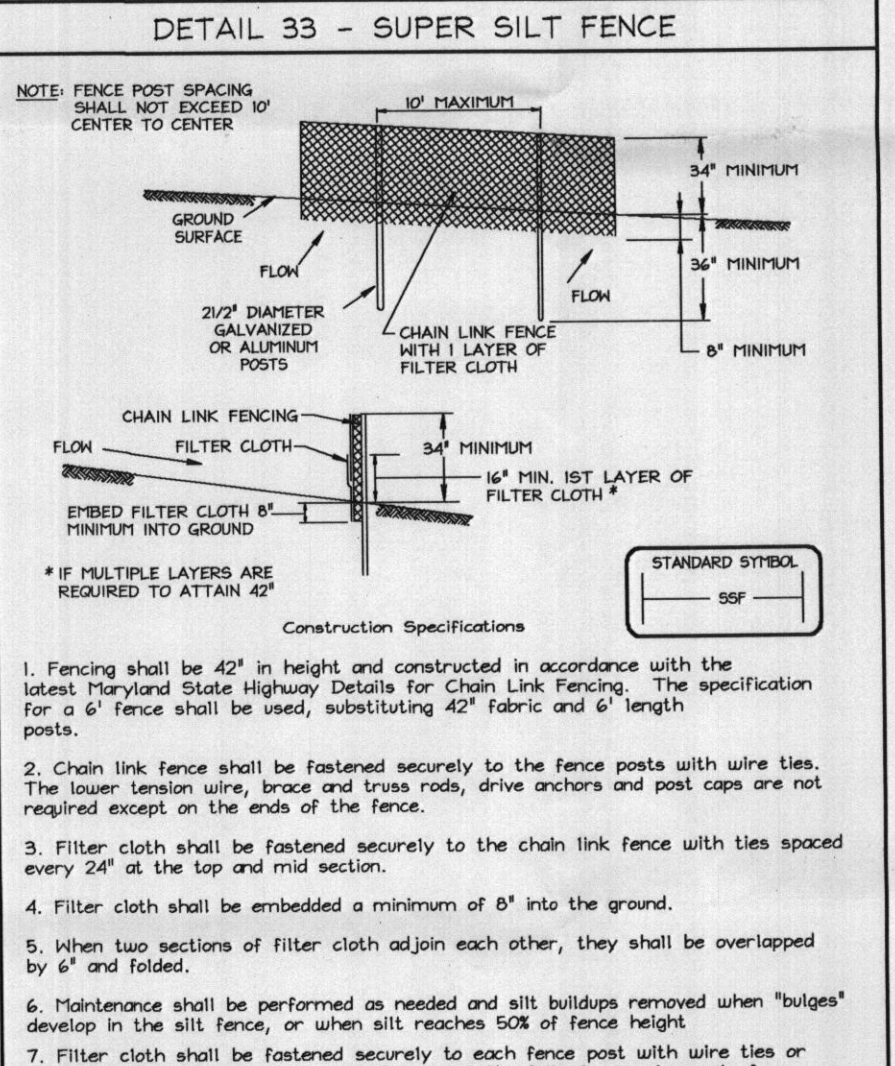
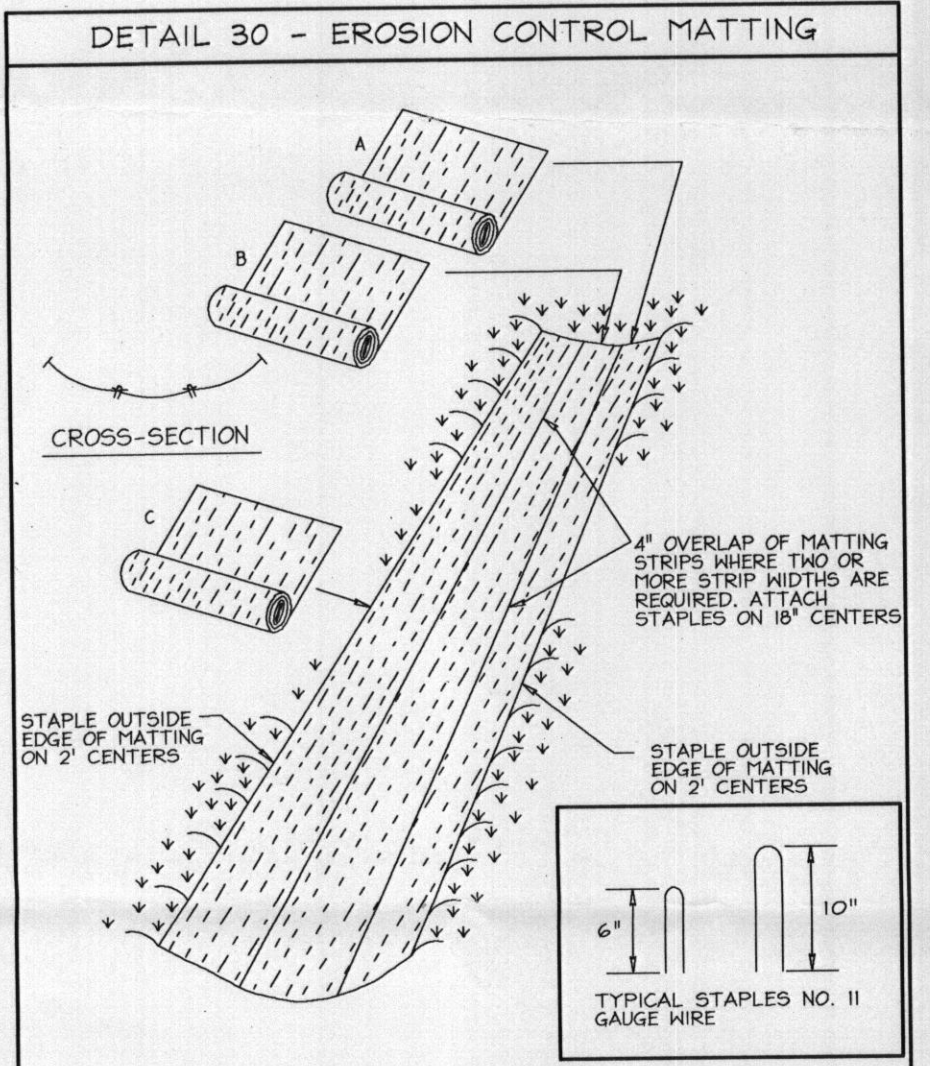
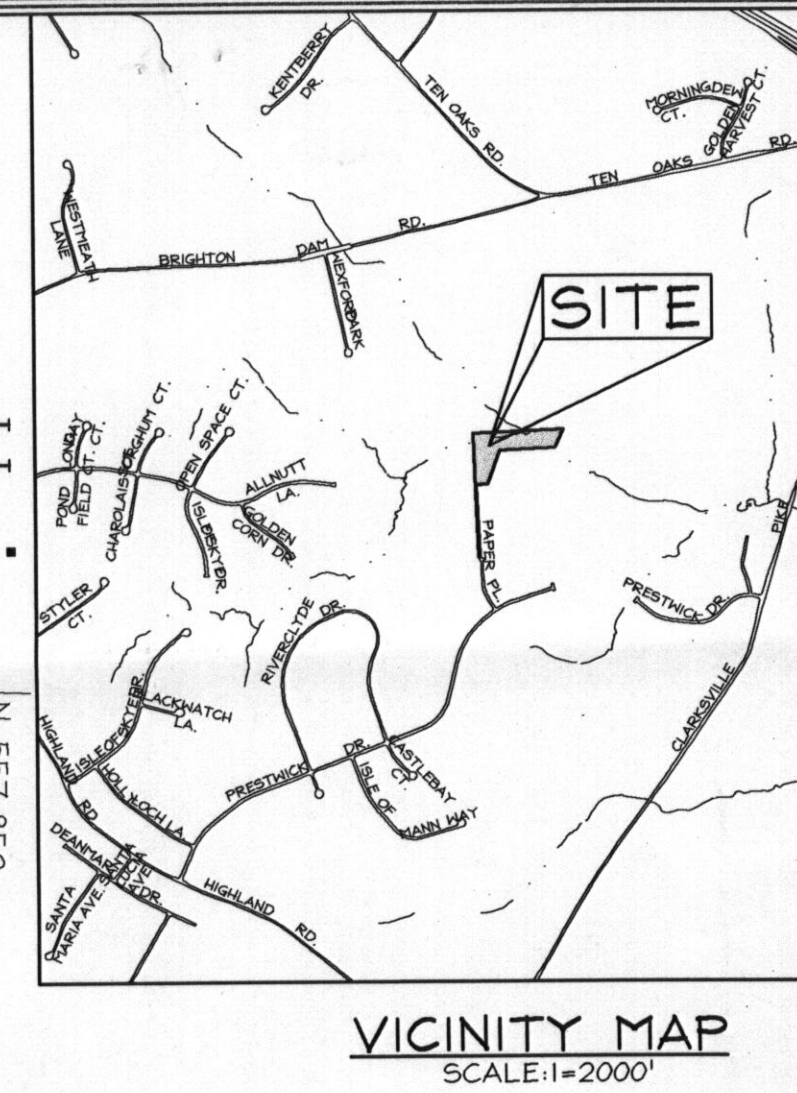


### SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
CgB2	Chester gravelly silt loam, 3 to 8 percent slopes, moderately eroded	B
CgC2	Chester gravelly silt loam, 8 to 15 percent slopes, moderately eroded	B
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
Hg	Hatboro silt loam	B
MgB2	Manor gravelly loam, 3 to 8 percent slopes, moderately eroded	B
MgC2	Manor gravelly loam, 8 to 15 percent slopes, moderately eroded	B
MgC3	Manor gravelly loam, 8 to 15 percent slopes, severely eroded	B
MID2	Manor loam, 15 to 25 percent slopes, moderately eroded	B

### LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Tree Protection Fence
- Existing Trees to Remain
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Limit of Disturbance
- Erosion Control Matting



**PLAN VIEW**  
SCALE: 1"=50'

### SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

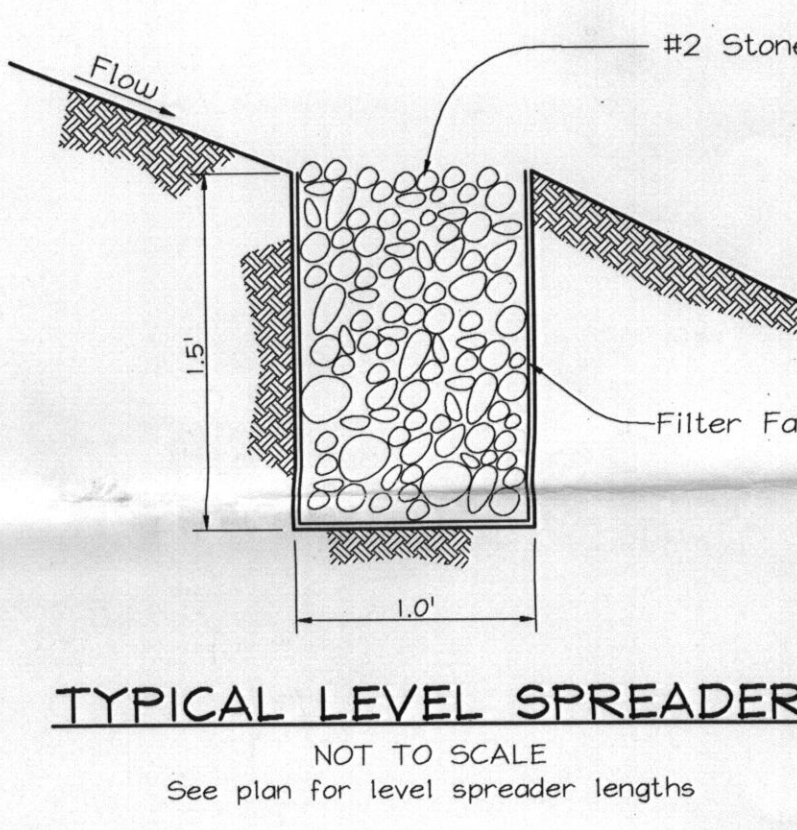
Total Area	5.67 Acres
Area Disturbed	1.05 Acres
Area to be roofed or paved	0.21 Acres
Area to be vegetatively stabilized	0.84 Acres
Total Cut	4520 CY
Total Fill	5202 CY

 Offsite waste/borrow area location: #1
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- Earthwork quantities are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
- To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

Approved Septic System Plan  
Howard County Health Department

Signature: [Signature]  
Date: 7-5-05

- ### GENERAL NOTES
- Reference: Plat #12949
  - Five (5) foot contours are taken from Howard County topographic survey.
  - Two (2) foot contours have been field run by FSH Associates, in January 2004.
  - Contractor to confirm all dimension, utilities and topography in the field. If any conflicts arise, contact Engineer before beginning any work.
  - Driveway entrance to be constructed in accordance with Howard County Standard Detail R.6.06.
  - Private water and sewer will be used within this site.
  - This area designates a private sewage easement, of at least 10,000 gallons as required by the Maryland State Department of the Environment for individual disposal (COMAR 26.04.03). Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have authority to grant adjustments to the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
  - All wells and septic fields within 100' of property's boundary have been shown on Howard County Soil Map #23.
  - Septic fields are located on soil types MgC2, MgC3 and MID2 as per the soil Howard County.
  - The limit of disturbance is not to be crossed for any house or driveway construction.
  - See GP-04-76 for full plan.
  - Stormwater Management requirements for this lot are provided for by sheet #24 of the house and by non-rooftop disconnect for the driveway.
  - The existing well shown on this plan (identified with the attached well tag number: Lot 4-10-24-3893) has been field located by FSH Associates professional surveyor and are accurately shown.
  - Spill material from the excavation of the level spreaders is to be placed on uphill side of the trench.



### SEQUENCE OF CONSTRUCTION

- Obtain Grading permit.
  - Notify Howard County Department of Inspections, License and Permits at (410) 313-1850 at least 24 hours before starting any work.
  - Install Stabilized Construction Entrance and Silt Fence. (1 week)
  - Construct driveway, and begin house construction. (2 weeks)
  - Complete house construction, fine grade site, install Erosion Control Matting on all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)
  - Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)
- Note: -Following initial soil disturbance or any redistribution, permanent or temporary stabilization shall be completed within:  
 a. 7 calendar days for all perimeter sediment control structures, dikes, swales and all slopes greater than 3:1.  
 b. 14 calendar days for all other disturbed areas.  
 -During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures on this plan.

**OWNER/DEVELOPER**  
GREENFIELD HOME  
6656 Luster Dr  
Highland, Maryland  
410.781.6782

**LOT RESITE**  
LOT 4  
**COOKE RESIDENCE**

TAX MAP 34 GRID 17  
5TH ELECTION DISTRICT

HOWARD COUNTY, MD

**FSH Associates**  
Engineers Planners Surveyors  
8318 Forest Street, Ellicott City, MD 21043  
Tel: 410-750-2251 Fax: 410-750-7350  
E-mail: info@fsha.biz

DESIGN  
DRAIN  
CHECKED  
SCALE:  
DATE:  
W.O. No.  
SHEET