



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B13003691

Building Address: 7177 Pinwell School Rd
City: Fulton State: MD Zip Code: 20759
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: LARA ALLEN RICHMAN
Address: 7177 Pinwell School Rd
City: Fulton State: MD Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: 301 300 3691
Email: _____

Existing Use: Residential
Proposed Use: Residential
Estimated Construction Cost: \$ 270,000.00
Description of Work: 25' x 20' Addition, 2 car garage, 16x20 w/ steps - convert existing garage to living space.

Contractor Company: Inspiration Renovations
Contact Person: JAMES KILLORIAN
Address: 9310 Furrow Ave
City: Bethesda MD State: MD Zip Code: 21042
License No.: 128390
Phone: 443-878-6524 Fax: 240-456-0220
Email: Jim@inspirationrenovations.com

Occupant or Tenant: OCCUPANT
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: Michael Meyer
Responsible Design Prof.: _____
Address: 562 DODD DR
City: ANNAPOLIS State: MD Zip Code: 21012
Phone: 410 349 1876 Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities
Water Supply
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input checked="" type="checkbox"/> Private
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input type="checkbox"/> Yes <input type="checkbox"/> No
Grading Permit Number:
Building Shell Permit Number:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
Email Address: Jim@inspirationrenovations.com
Title/Company: Owner / Inspiration Renovations

Print Name: JAMES KILLORIAN
Date: 10/2/13

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>15214</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

7177 Pindell School Rd

APPROVED

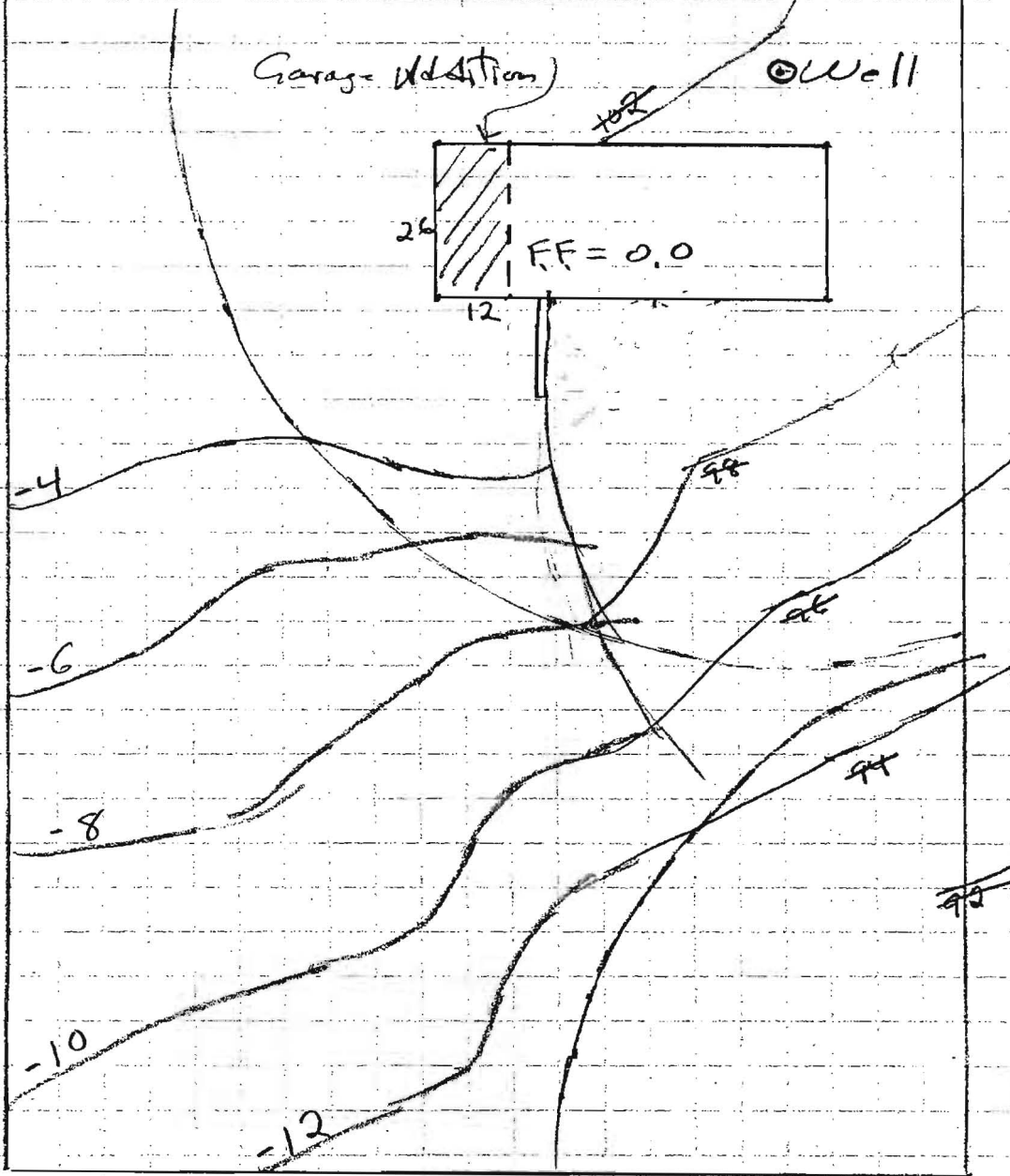
WALK-THRU BUILDING PERMIT

BP# ~~522004~~ A# 522004

APP. SAN PAY DATE: 3/2

DESC. OF WORK: 12 x 26

GARAGE





Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B/3003691

Building Address: 7177 Pundell School Rd
 City: Fulton State: MD Zip Code: 20759
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: RESIDENTIAL
 Proposed Use: RESIDENTIAL
 Estimated Construction Cost: \$ 70,000.00
 Description of Work: 25' x 20' addition, 2 car garage, decks, 5 DOGS
16' x 20' uppers convert existing garage to living space.
 Occupant or Tenant: OCCUPANT
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: LARA + ALLEN Richman
 Address: 7177 Pundell School Rd
 City: Fulton State: MD Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Inspiration Renovations
 Contact Person: JAMES Killorid
 Address: 9310 Furrow Ave
 City: Beltzville City State: MD Zip Code: 21042
 License No.: 128390
 Phone: 443-578-6504 Fax: 240-456-0660
 Email: Jim@inspirationrenovations.com

Engineer/Architect Company: Michael Meyer
 Responsible Design Prof.: _____
 Address: 862 Doris Dr
 City: Arundel State: MD Zip Code: 21012
 Phone: 410 349-1876 Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth Width	
Gross area, sq. ft./floor:	1 st floor:	
Area of construction (sq. ft.):	2 nd floor:	
Use group:	Basement:	
	<input type="checkbox"/> Finished Basement	
	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: JAMES Killorid
 Email Address: Jim@inspirationrenovations.com Date: 10/2/13
 Title/Company: OWNER / Inspiration Renovations

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)	<u>10/19/13</u>	<u>[Signature]</u>
Health	<u>10/2-13</u>	<u>[Signature]</u>
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No		
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START		

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>1544</u>

DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS 3430 COURT HOUSE DRIVE ELICOTT CITY, MD 21043 PERMITS (410) 313-3455 INSPECTIONS (410) 313-1810 AUTOMATED INFORMATION (410) 313-3800		HOWARD COUNTY PERMIT APPLICATION		PERMIT NUMBER <u>308003180</u>	
Building Address <u>7177 Pindell Schollde</u> <u>Fulton Md 20759</u>			Property Owner's Name <u>George Fambrow</u> Address <u>7177 Pindell School De</u> City <u>Fulton</u> State <u>MD</u> Zip Code <u>20759</u>		
Suite/Apt. #: _____ SDP/WP/Petition #: _____ Census Tract _____ Subdivision _____ Section _____ Area _____ Lot _____ Tax Map _____ Parcel _____ Grid _____ Zoning _____ Map Coordinates _____ Lot size _____			Home Phone _____ Work Phone _____ Applicant's Name & Mailing Address, (if other than stated hereon): _____ Phone _____ Fax _____		
Existing Use <u>SFD</u> Proposed Use <u>SFD w/ TANK</u> Estimated Construction Cost \$ <u>1000</u> Description of Work <u>Install (1) 500 UG propane</u> <u>tank and run 1/2" line OS</u> <u>per NFPA 54.58</u>			Contractor Company <u>George Fambrow</u> Contact Person _____ Address <u>7177 Pindell School De</u> City <u>Fulton</u> State <u>MD</u> Zip Code <u>20759</u> License No. _____ Phone _____ Fax _____		
Occupant or Tenant <u>George Fambrow</u> Contact Name _____ Address <u>7177 Pindell School De</u> City <u>Fulton</u> State <u>MD</u> Zip Code <u>20759</u> Phone _____ Fax _____			Engineer or Architect Company _____ Contact Person _____ Address _____ City _____ State _____ Zip Code _____ Phone _____ Fax _____		

BUILDING DESCRIPTION - COMMERCIAL		BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics Height: _____ No. of stories: _____ Gross area, sq. ft. per floor: _____ Use group: _____ Construction type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular	Utilities Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/> Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> <input type="checkbox"/> Propane Gas <input type="checkbox"/> Sprinkler system: N/A <input type="checkbox"/> <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____	Building Characteristics SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> Depth _____ Width _____ 1st floor: _____ 2nd floor: _____ Basement: _____ Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> <input type="checkbox"/> Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/> No. of Bedrooms _____ Height: _____ Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____ Other Structure: _____ Dimensions: _____ Footings: _____ Roof Height: _____ <input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home	Utilities Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> <input checked="" type="checkbox"/> Propane Gas <input type="checkbox"/> Sprinkler system: N/A <input type="checkbox"/> <input type="checkbox"/> NFPA #13D <input type="checkbox"/> NFPA #13R <input type="checkbox"/> Other: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

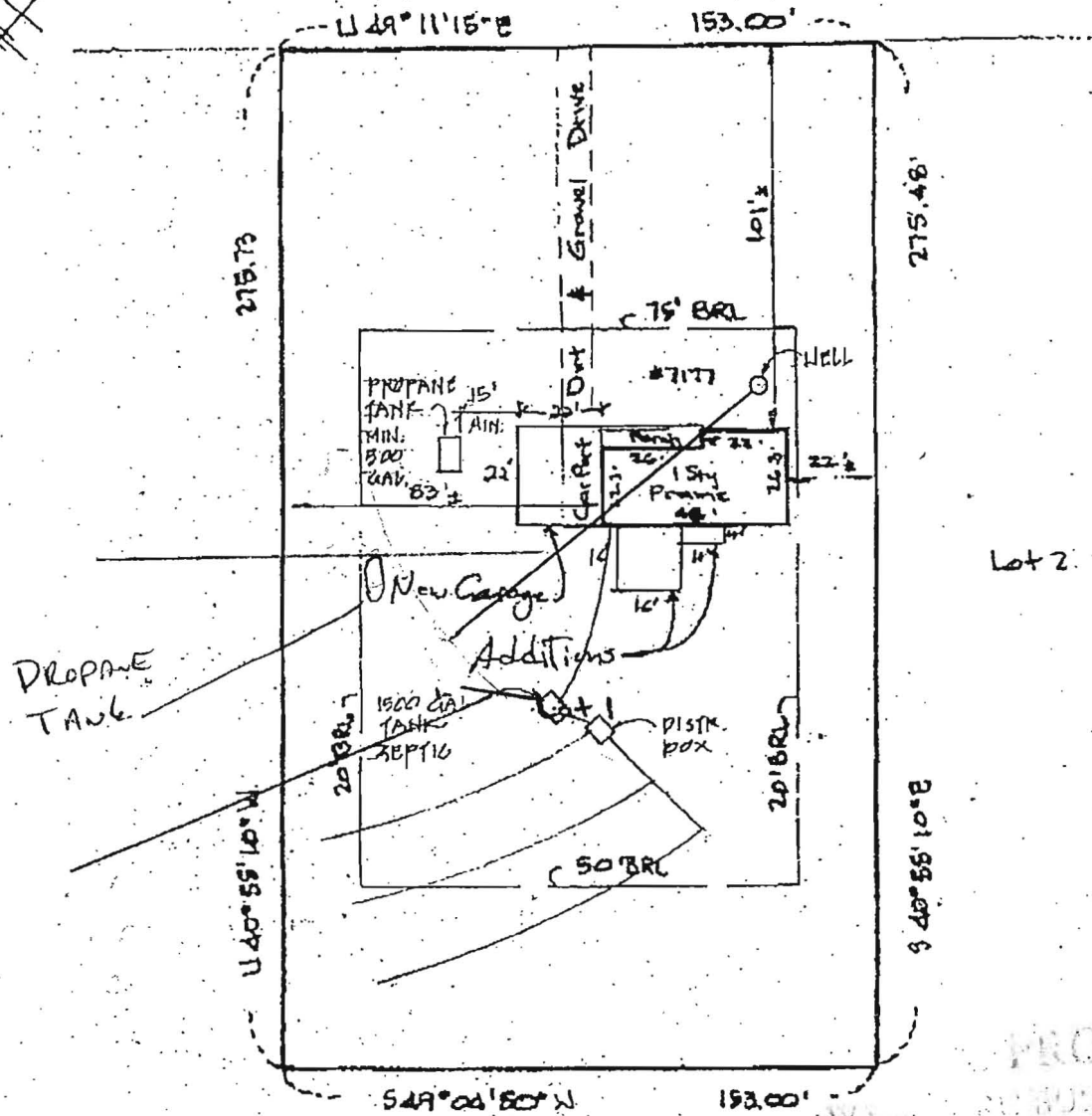
Richard J. [Signature]
 Applicant's Signature
Nichol Welding & Mechanical Repair
 Title/Company
George Fambrow
 Print Name
10/16/08
 Date

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
 ** PLEASE WRITE NEATLY AND LEGIBLY. **
- FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL	DPZ SETBACK INFORMATION	PROPERTY ID#	
Land Development DPZ			Front: _____	Filing fee \$ <u>110.00</u>	
State Highways			Rear: _____	Permit fee \$ _____	
Building Official			Side: _____	Excise tax \$ _____	
Dev. Engineering DPZ			Side St: _____	Add'l per. fee \$ _____	
Health	<u>10/12/08</u>	<u>[Signature]</u>	All minimum setbacks met?	TOTAL FEES \$ _____	
Fire Protection			YES <input type="checkbox"/> NO <input type="checkbox"/>	Sub-total paid \$ _____	
Is Sediment Control approval required prior to issuance?			Is Entrance Permit required?	Balance due \$ _____	
YES <input type="checkbox"/> NO <input type="checkbox"/>			YES <input type="checkbox"/> NO <input type="checkbox"/>	Check # _____	
CONTINGENCY CONSTRUCTION START: <input type="checkbox"/>			Historic District?	Validation # _____	
ONE STOP SHOP: <input type="checkbox"/>			YES <input type="checkbox"/> NO <input type="checkbox"/>		
Distribution of Copies:	White: Building Official	Green: LDD, DPZ	Yellow: DED, DPZ	Pink: Health	Gold: SHA
T:\forms\PERMIT.FRM			SDP/Red-line approval date _____	Accepted by _____	

A 522004 P 522475
 A07717 P 0000

PINDELL SCHOOL ROAD



3/4 Scale
= 49

THE LOT SHOWN HEREON IS IN FLOOD ZONE C PER F.E.M.A. FLOOD INSURANCE RATE MAP PANEL 24004-00288

The plat is of benefit to consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or refinancing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing. The plat contains a tolerance of accuracy of two feet, more or less.

APPROVED
BUILDING PERMIT
522004
DATE 10/22/08

500 underground propane tank

Henry [Signature]

PROPERTY LINE SURVEY

Ertel Associates, Inc.

8425 Hallmark Circle
Baltimore, Maryland 21234
Phone: 410-882-0989 • Fax: 410-882-0842

LOCATION DRAWING
#7177 PINDELL SCHOOL ROAD, LOT 1
"SINGL. ACRES, LOTS 1 THRU 5"
HOWARD CO. MD. PER CMP # 3716

DATE: 11/20/08 SCALE: 1"=40' FILE: 002105



PENDELL SCHOOL ROAD

N 49°11'15" E
140.00

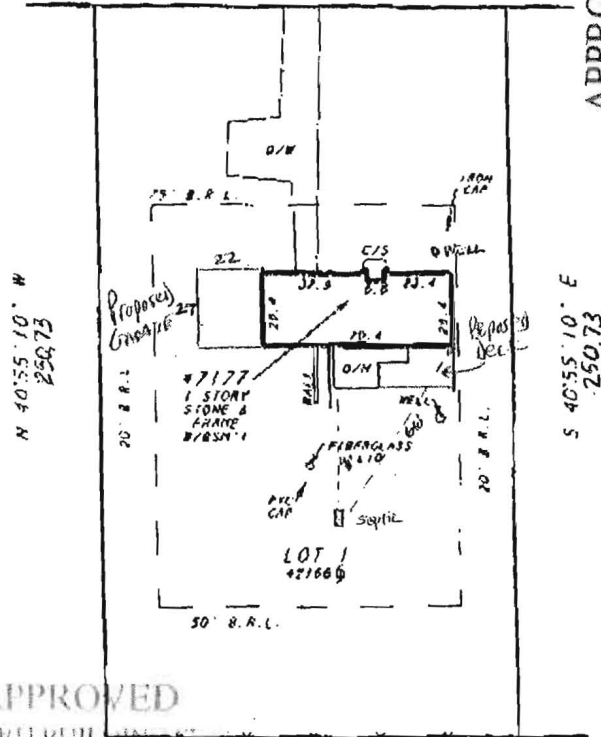
APPROVED

WALKTHRU BUILDING PERMIT

BP# A# 1522475

APP. SAN HS DATE: 6/19/13

DESC. OF WORK: garage addition
interior alteration & elect



APPROVED

WALKTHRU BUILDING PERMIT

BP# B100369

DATE: 8-27-10

DESC. OF WORK: 25 x 20 addition for garage

Approved as shown HS

FOR SURVEY ORDER, APPROVAL FORMS, PRICES & MORE VISIT US AT WWW.DULEY.BIZ

LOCATION DRAWING OF:
#7177 PENDELL SCHOOL ROAD
LOT 1
SIMONS ACRES
PLAT NO. 3716
HOWARD COUNTY, MD
SCALE: 1"=50' DATE: 8-27-10

A LAND SURVEYING COMPANY

DULEY AND ASSOCIATES, INC.
SERVING D.C. & MD.

14604 EGM STREET
UPPER MARLBORO, MD 10772

CASE # 10-0390
FABRO
FILE # 104061-510
DRAWN BY: CP

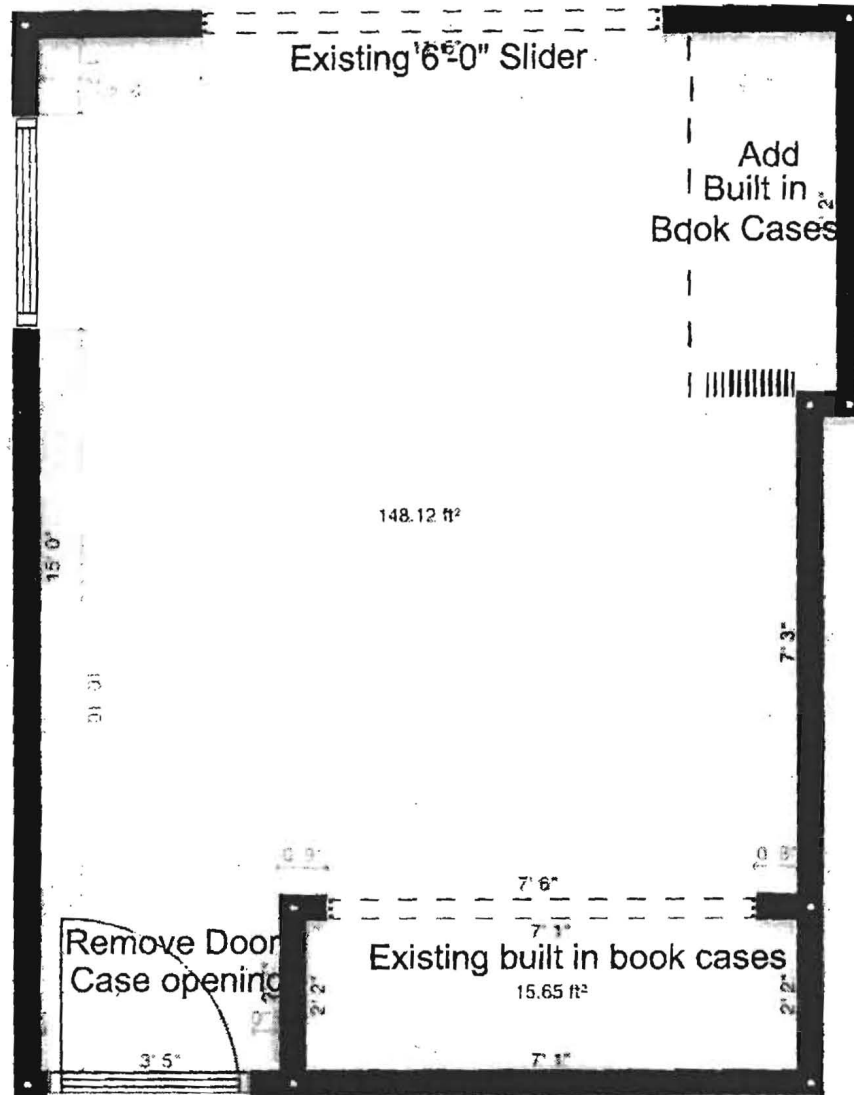
PHONE: 301-888-1117	FAX: 301-888-1114
PHONE: 1-800-88-DULEY	FAX: 1-800-55-DULEY

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PERMIT HAVE BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHOD AND THAT THE IMPROVEMENTS APPEAR TO BE WITHIN FLOOD ZONE. A FIELD CERTIFICATION IS RECOMMENDED TO DETERMINE THE EXACT FLOOD ELEVATION AND FLOOD ZONE. THIS SURVEY IS NOT TO BE USED AS BASIS OF RECORD OR FOR THE ESTABLISHMENT OF ANY EASES, EASEMENTS, OR OTHER IMPROVEMENTS. THIS PLAN IS BEING FILED TO A COUNTY ONLY INASMUCH AS IT IS REQUIRED BY A COUNTY OR A STATE ENGINEERING COMPANY AS SET FORTH IN CONNECTION WITH THE CONVEYANCE THEREOF. NOTHING OR REFLECTING THE LEVEL OF ACCURACY OF THIS DRAWING IS TO BE USED AS BASIS FOR ANY OTHER PURPOSE. NO PART OF THIS DRAWING OR ANY PART THEREOF SHALL BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF DULEY & ASSOCIATES, INC. RESTRICTIONS AND LIMITATIONS OF THIS SURVEY, IMPROVEMENTS WHEN IN THE SURVEYORS OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR ALL BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

7177 Pindell School Road
Fulton, Md. 20759

Existing Bedroom / Office Conversion



Account Identifier: District - 05 Account Number - 367093

Owner Information

Owner Name: RICHMAN WILLIAM ALLEN Use: RESIDENTIAL
RICHMAN LAILA J/TE Principal Residence: YES
Mailing Address: 7177 PINDELL SCHOOL RD Deed Reference: 1) /12731/ 00153
FULTON MD 20759-9715 2)

Location & Structure Information

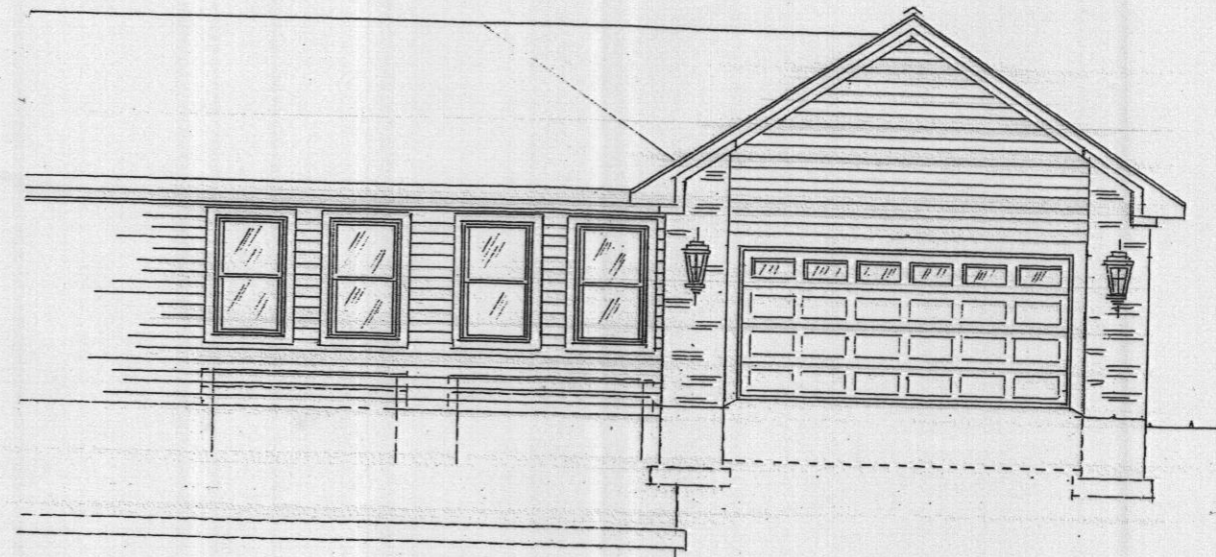
Premises Address: 7177 PINDELL SCHOOL RD Legal Description: LOT 1 .967 AR
FULTON 20759-0000 7177 PINDELL SCHOOL RD
SIMON ACRES

Map: Grid: Parcel: Sub District: Subdivision: Section: Block: Lot: Assessment Year: Plat No: 3716
0041 0009 0413 0000 1 2011 Plat Ref:

Special Tax Areas: Town: NONE
Ad Valorem: 100
Tax Class:

Primary Structure Built Above Grade Enclosed Area Finished Basement Area Property Land Area County Use
1961 1,640 SF 1000 SF 42,122 SF

Stories Basement Type Exterior Full/Half Bath Garage Last Major Renovation
1.000000 YES STANDARD UNIT FRAME 3 full 1 Attached



INDEX OF DRAWINGS - PROPOSED

- 0 - TITLE SHEET - LEGAL DESCRIPTION
- 1A - PARTIAL FRONT ELEVATION
- 1B - PARTIAL RIGHT SIDE ELEVATION
- 1C - PARTIAL REAR ELEVATION
- 2A - PARTIAL MAIN FLOOR + GARAGE PLAN
- 2B - EXISTING PARTIAL MAIN FLOOR PLAN
- 3 - EXISTING GARAGE + NEW GARAGE FOUND. PLAN
- 4 - EXISTING GARAGE FLOOR FRAMING PLAN
- 5A - CROSS SECTION 'A'
- 5B - CROSS SECTION 'B'
- 6 - ROOF TRUSS PROFILE, DOOR + WINDOW SCHED.
- 7 - SITE PLAN / PLAT PLAN
- 8 - CONSTRUCTION NOTES.

SCOPE OF WORK - PROPOSED

- 1. CONSTRUCT LIVING SPACE IN EXIST. GARAGE
- 2. EXIST. GARAGE CONTAINS LIVING DRESS
- 3. CONSTRUCT TWO CAR GARAGE
- 4. ADD ROOF OVER FRAMING FOR CONNECTION
- 5. GARAGE ROOF SHINGLES TO MATCH EXIST
- 6. WRAP NEW WDL'S + GARAGE W/ MATCHING SIDING
- 7. ADD EXTERIOR TRIM AT DOORS + WINDOWS
- 8. PLUS ALL WORK RELATED TO CONSTRUCTION
- 9. ALL WORK TO COMPLY WITH ALL LOCAL BUILDING CODES + CONSTRUCTION CODES.



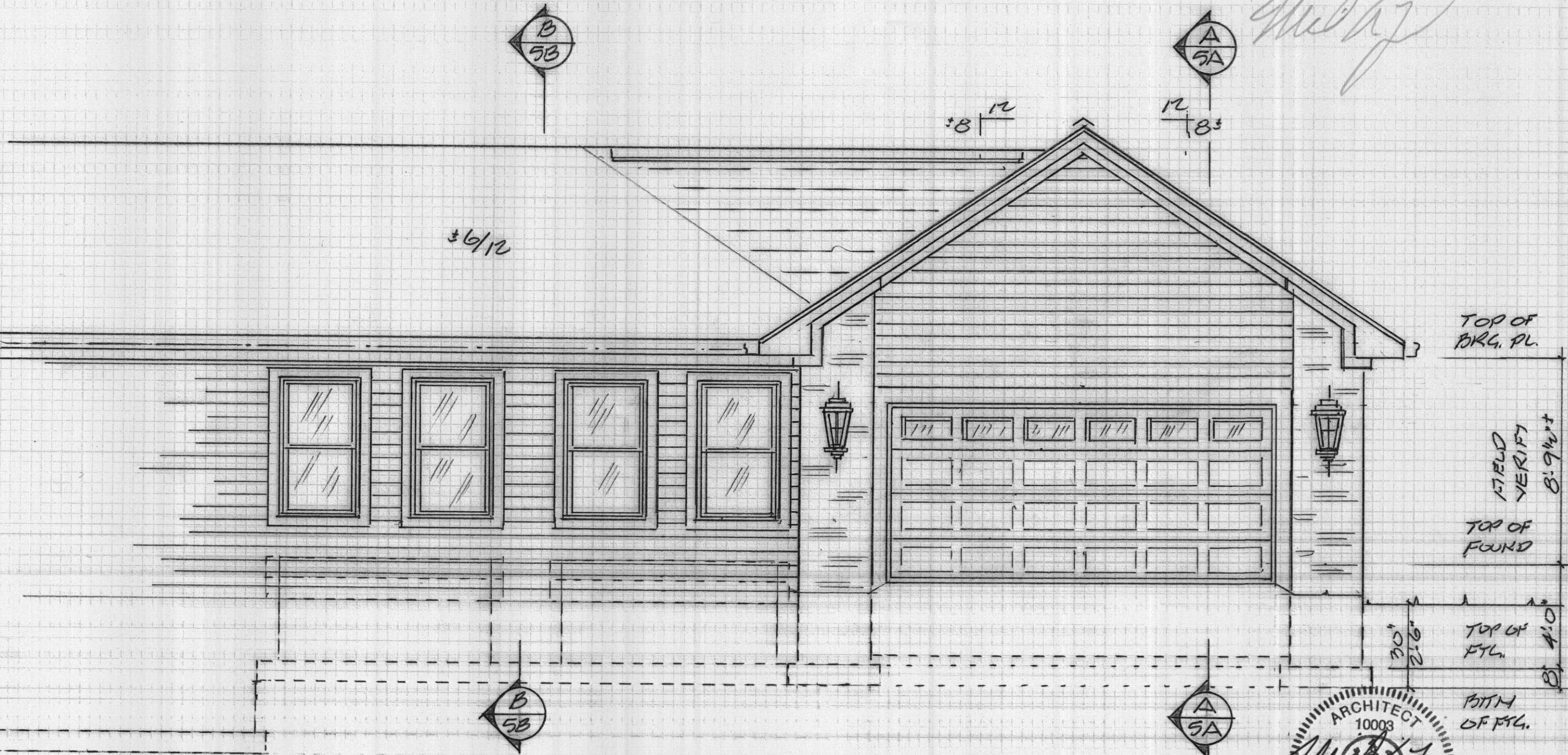
W. L. RICHMAN RESIDENCE ADDITION
7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9-5-13
SHEET
0 OF 13

NOTE: DRAWING CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED BY ME, AND
 THAT I AM A DULY LICENSED
 ARCHITECT, UNDER THE LAWS OF
 THE STATE OF MARYLAND. LICENSE
 NUMBER 10003, WITH THE EXPIR-
 ATION DATE OF 6-28-14

Michael Boyer



TOP OF BRG. PL.

FIELD VERIFY 8'9 1/2"

TOP OF FOUND

TOP OF FTL 4'0"

BTM OF FTL

PARTIAL FRONT ELEVATION - 1/4 - PROPOSED



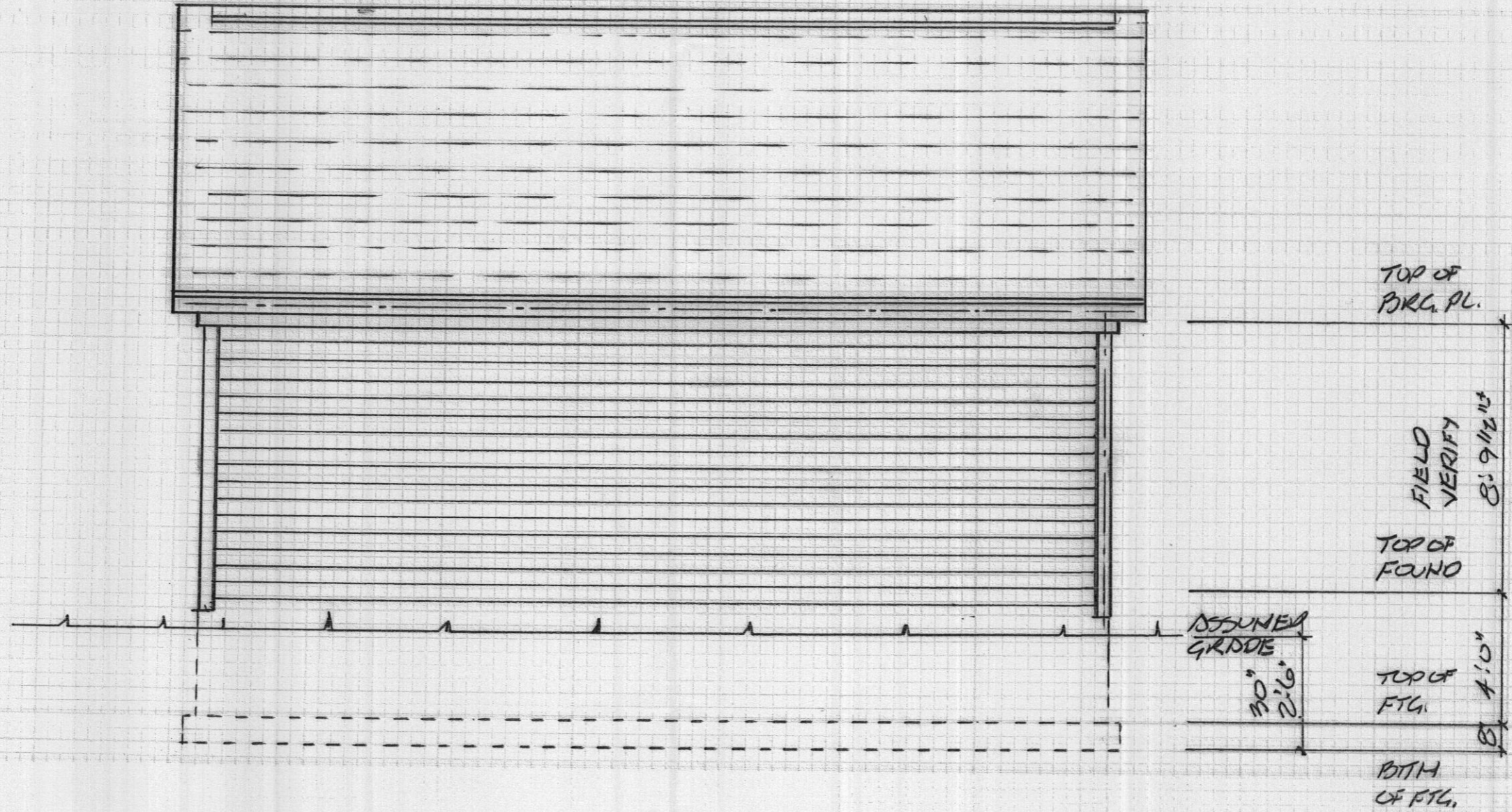
WIL RICHMAN RESIDENCE ADDITION

7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9-5-13

SHEET

1A
OF 13

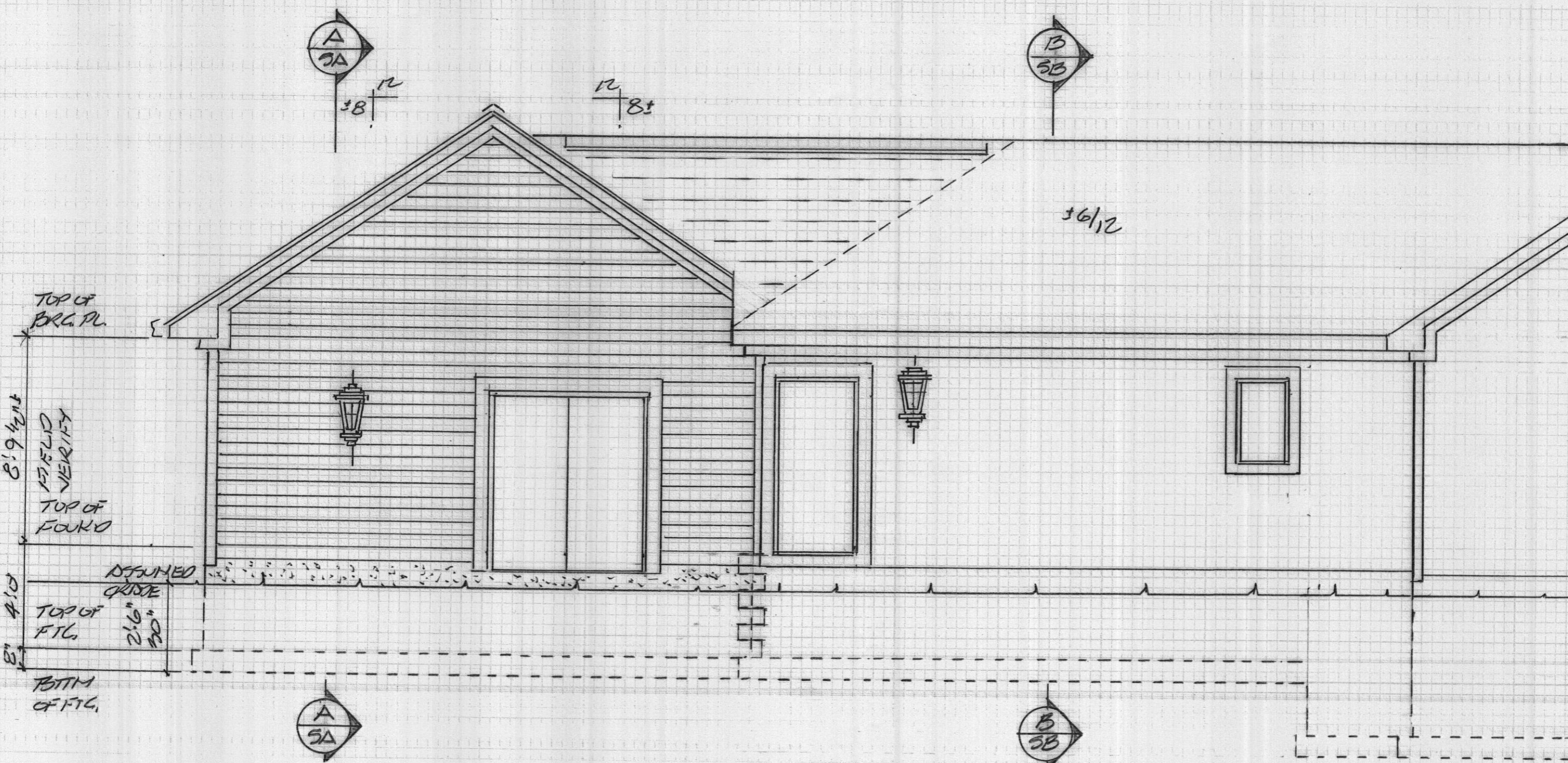


PARTIAL RIGHT SIDE ELEVATION - 1/4" PROPOSED



W. L. RICHIMAN RESIDENCE ADDITION
 7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9-5-13
 SHEET
 1B
 OF 13



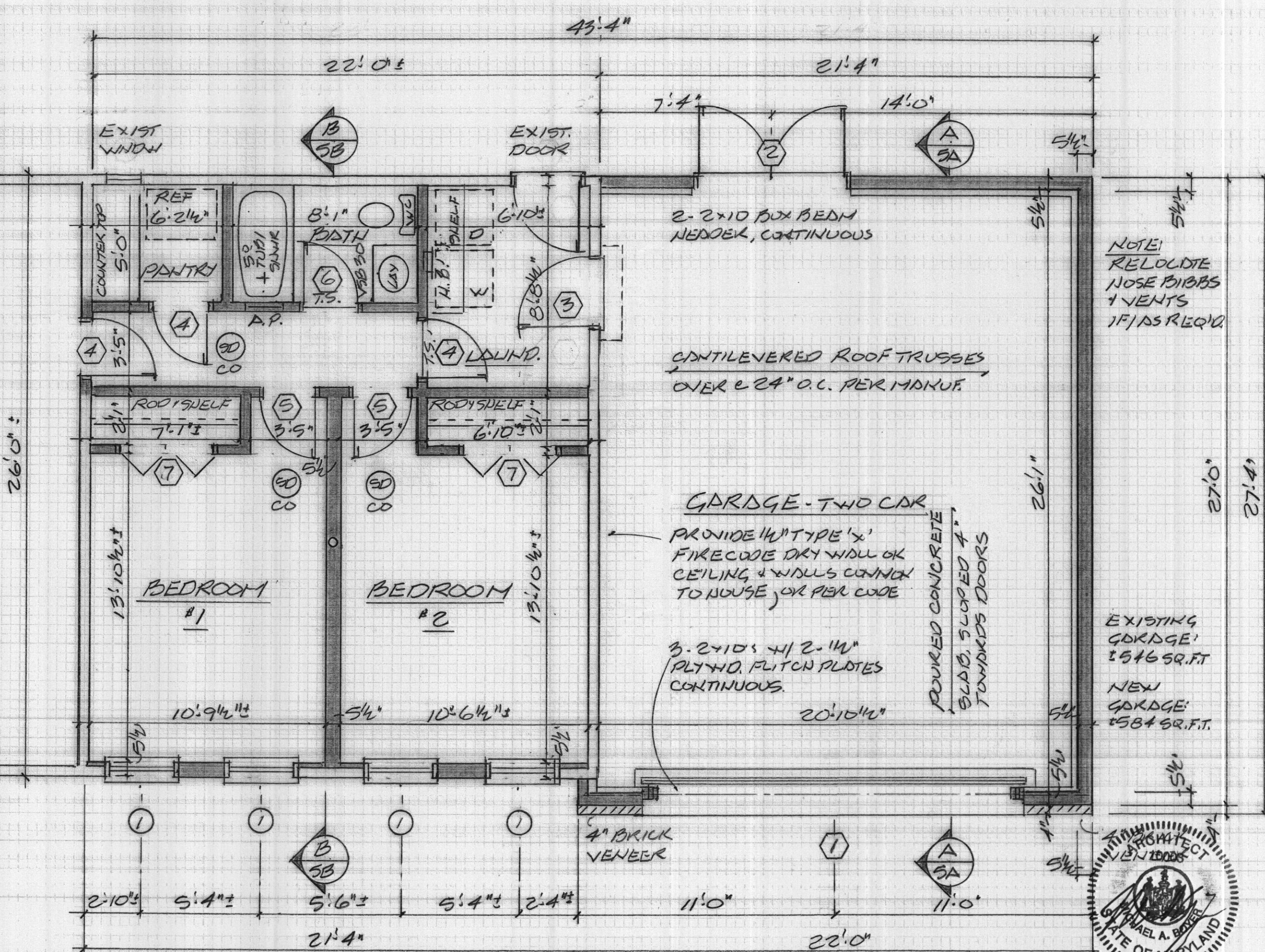
PARTIAL REAR ELEVATION - 1/4" PROPOSED



WIL RICHMAN RESIDENCE ADDITION

7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9716

9-5-13
 SHEET
 10
 OF 13



NOTE!
 RELOCATE
 NOSE BIRDS
 + VENTS
 IF/AS REQ'D.

CANTILEVERED ROOF TRUSSES
 OVER 24" O.C. PER MANUF.

GARAGE - TWO CAR
 PROVIDE 1/2" TYPE 'X' FIRE CODE DRY WALL OR CEILING & WALLS CONTIN TO HOUSE, OR PER CODE
 3-2x10's w/ 2-1/2" PLYHD. FLITCH PLATES CONTINUOUS.
 POURED CONCRETE SLAB, SLOPED 4" TOWARDS DOORS

EXISTING GARAGE: 1546 SQ.FT.
 NEW GARAGE: 1584 SQ.FT.

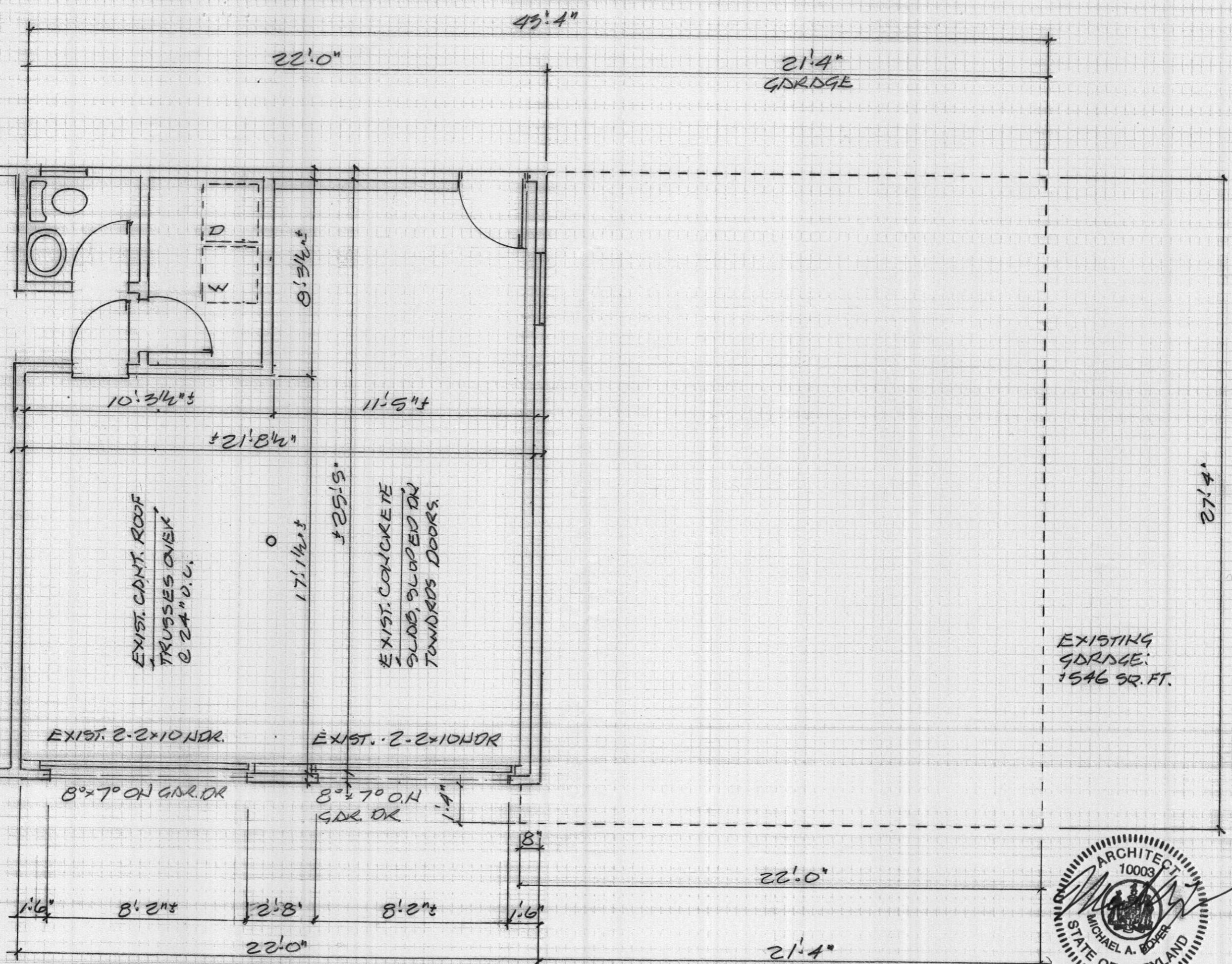


W. L. RICHMAN RESIDENCE ADDITION

7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9-5-13
 SHEET
 2A
 OF 13

PARTIAL MAIN FLOOR + GARAGE PLAN - 1/4" - PROPOSED

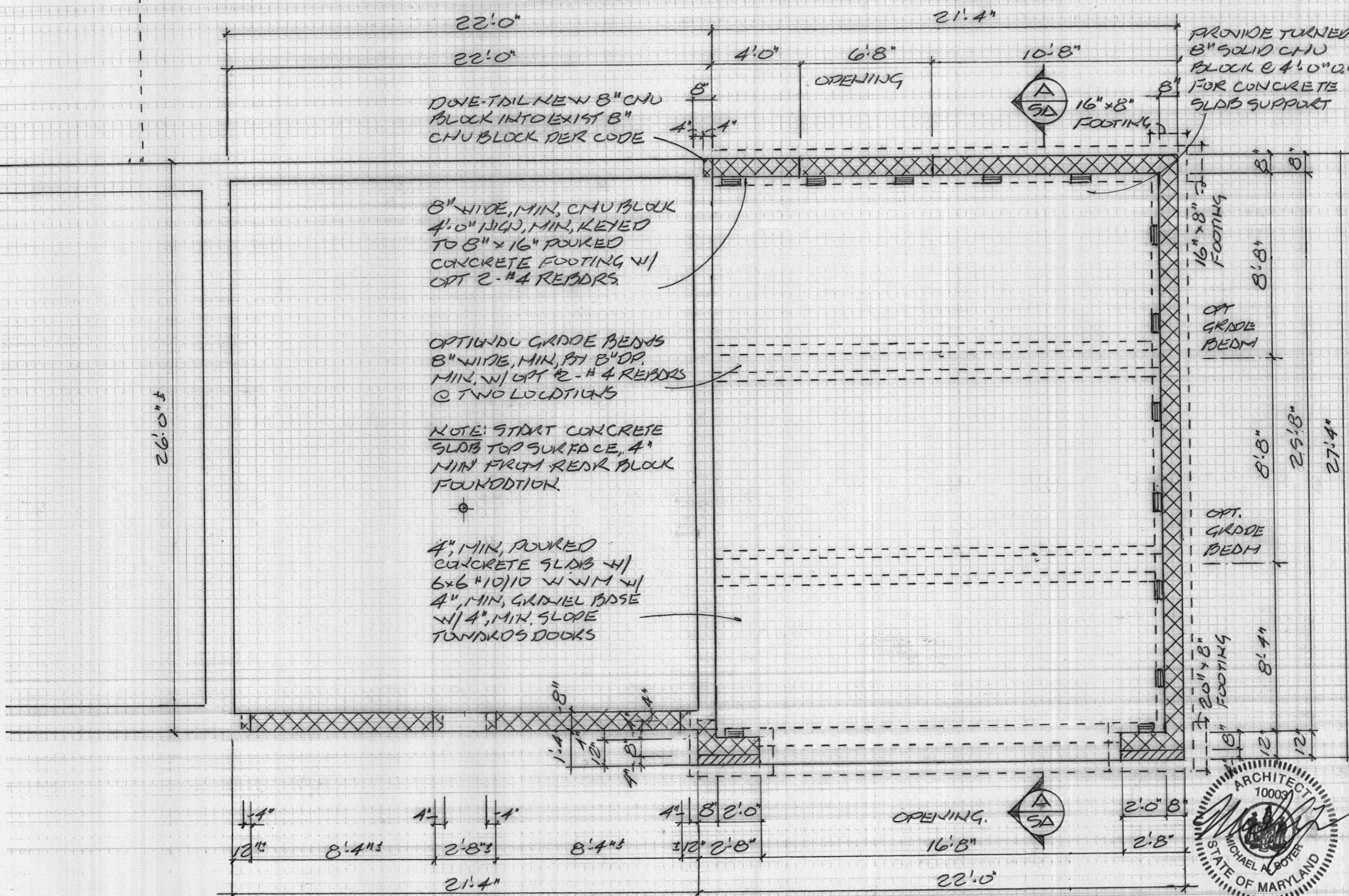


EXIST. PARTIAL MAIN FLOOR PLAN - 1/4"



WIL RICHMAN RESIDENCE ADDITION
7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9.5-13
SHEET
2B
OF 13



DOVE-TAIL NEW 8" CMU BLOCK INTO EXIST 8" CMU BLOCK PER CODE

8" WIDE, MIN, CMU BLOCK
4'-0" HIGH, MIN, KEYED TO 8" x 16" POURED CONCRETE FOOTING W/ OPT 2-#4 REBARS.

OPTIONAL GRADE BEAMS 8" WIDE, MIN, PT 8" DP, MIN, W/ OPT 2-#4 REBARS @ TWO LOCATIONS

NOTE: START CONCRETE SLAB TOP SURFACE, 4" MIN FROM REAR BLOCK FOUNDATION

4" MIN, POURED CONCRETE SLAB W/ 6x6 #10/10 W WM W/ 4" MIN, GRANITE BASE W/ 4" MIN. SLOPE TOWARDS DOORS

PROVIDE TURNED 8" SOLID CMU BLOCK @ 4'-0" O.C. FOR CONCRETE SLAB SUPPORT

WIL RICHMAN RESIDENCE ADDITION
7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715



9-5-13
SHEET
3
OF 13

EXIST. GARAGE + NEW GARAGE FOUNDATION PLAN - 1/4" PROPOSED

NOTE: PROVIDE NURRILDNE TIE DOWN STRIPS AND PLATES THROUGHOUT AS REQUIRED BY LOCAL CONSTRUCTION CODES AND BUILDING CODES.

NOTE: CONTRACTOR TO VERIFY THE CONSTRUCTIONAL INTEGRITY OF ALL WALLS, FLOORS, ROOFS, ETC. OF EXIST HOUSE, BEFORE & DURING CONSTRUCTION

ALUM WRAPPED ROOF BD. OVER 2x4 LADDER W/ SOFFIT

ALUM WRAPPED FRIEZE BD OVER BLOCKING.

2x4 STD BLOCKING 4 FRIM O. BRICK

TOP OF BEDRING PLATE

BRICK/STONE VENEER W/ METAL STRIPS & WATER WEEPS @ 16" O.C. OR CODE

NDILER

2x6 STUDS @ 16" O.C. PERIM WALL

2x6 P.T. SILL W/ SEDLER & STRAPS

FLASHING W/ DRIP EDGE

TOP OF FOUNDATION

TOP OF FOOTING

BOTTOM OF FTG.

1'-8"
12"
27'-4"

CONTINUOUS RIDGE VENT W/ 1/2" GAP IN ROOF SHEATHING.

ROOF SHINGLES, TO MATCH EXIST, OVER 1/2" CDX PLYWOOD ROOF SHEATHING W/ 1" CLIPS

NOTE: NO INSULATION IS REQUIRED IN FLOORS, WALLS, AND CEILING IN UNOCCUPIED SPACES SUCH AS GARAGES.

ROOF TRUSSES PER MANUF C 24" O.C. SEE ROOF TRUSS PROFILE

NOTE: TYPICAL EXTERIOR PERIMETER WALLS: STANDARD HORIZONTAL SIDING, OVER HOUSE WRDP, OVER STRUCTURAL EXTERIOR 1/2" PLY WOOD SHEATHING W/ R-21 INSULATION W/ INTEGRAL VAPOUR BARRIER

TOP OF BEDRING PLATE

PROVIDE 1/2" TYPE 1X' FIRE CODE GYP BD. ON CEILING & WALLS COMMON TO HOUSE OR PER CODE

GDRIDGE - TWO CLR

4" MIN. POURED CONCRETE SLAB W/ 6x6 #10/10 W/M W/ 4" MIN. GRAVEL BASE

1" STEP DOWN IN CONCRETE SLAB.

TURNEO DOWN 8" MIN, THICK SLAB TO FROST LINE

SLOPE GDRIDGE SLAB 4" MIN, TOWARD DOORS

OPT. GRADE BEAMS, 8" W, MIN. BY 8" DP, MIN. W/ OPT 2-#4 REBDRS TYP. 2 LOCATIONS. 27'-4"

NDILER

BLOCKING @ 8'-0" HIGH.

START CONC SLAB 4" MIN, BELOW REAR BLOCK FOUND

2x6 P.T. SILL PL W/ SEDLER & ANCHORS / STRAPS

TOP OF FOUND

TOP OF FOOTING

BOTTOM OF FTG.

8" MIN. CMU BLOCK, 4'-0" HIGH, MIN, W/ OPT. HORIZ. REINFOR KEYED TO 8"x16" CONC. FTG. W/ OPT. #4 REBDRS.

FIELD VERIFY 8'-9 1/2"

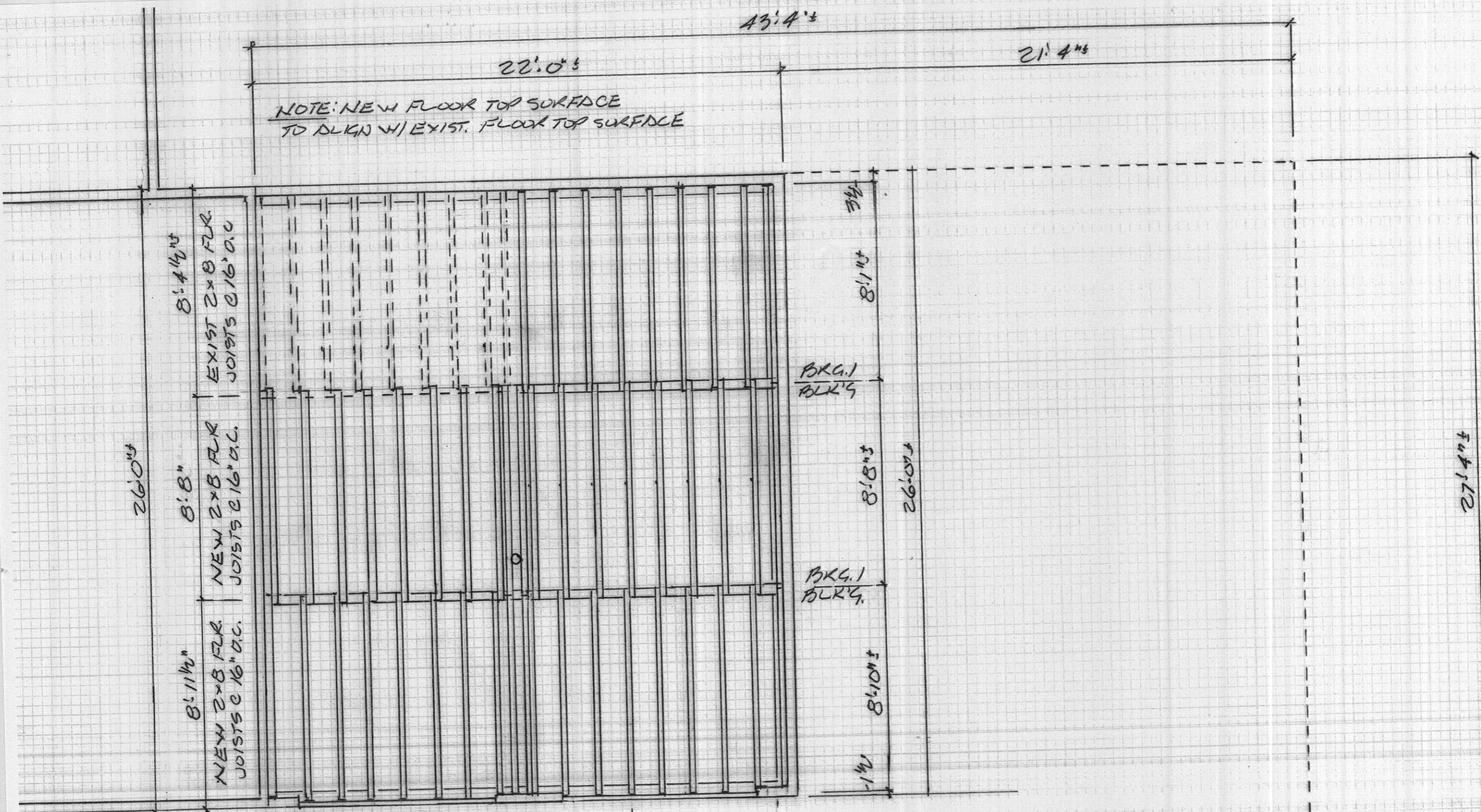
4'-0"

A CROSS SECTION - 1/4" - PROPOSED

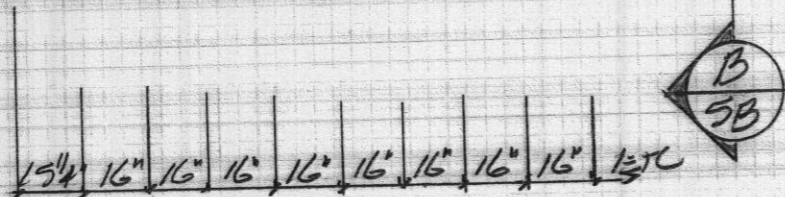


W. L. RICHMAN RESIDENCE ADDITION
7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

9-5-13
SHEET
5A
OF 13



NOTE: NEW FLOOR TOP SURFACE
TO ALIGN W/ EXIST. FLOOR TOP SURFACE



EXIST. GARAGE FLOOR FRAMING PLAN - 1/4" - PROPOSED

WIL RICHMAN RESIDENCE ADDITION
7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715



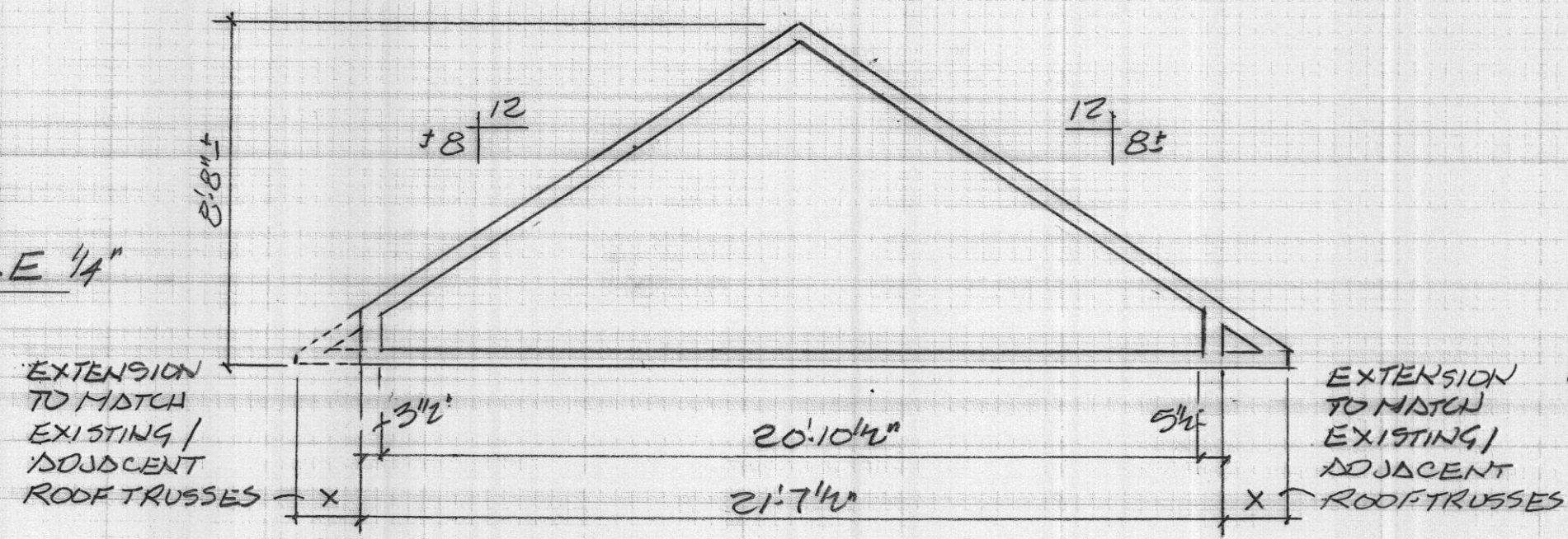
9-5-13
SHEET
A
OF 13

DOOR SCHEDULE							WINDOW SCHEDULE						
MARK	FRAME	NAME	SIZE	QUANTITY	DESCRIPTION	OPTIONAL	MARK	FRAME	NAME	SIZE	QUANTITY	DESCRIPTION	OPTIONAL
①	STEEL ROLLER FRAME	16°x8°	16'-0" x 7'-0" + R.O.	1	GARAGE DOOR w/ WINDOWS	FIELD VERIFY SIZE	①	2x6 FRAME WALL	2852	2'-9 9/16" x 5'-4 7/8" + R.O.	4	DOUBLE HUNG	
②	2x6 FRAME WALL	6068	5'-11 1/4" x 6'-7 1/2" + R.O.	1	DOUBLE STEEL DOOR	FIELD VERIFY SIZE	○						
③	2x4 FRAME WALL	3068	3'-1" x 6'-7 1/2" + R.O.	1	FIRE CODE DOOR		○						
④	2x4 FRAME WALL	3068	3'-1" x 6'-7 1/2" + R.O.	3	INTERIOR DOOR		○						
⑤	2x4 FRAME WALL	2868	2'-9" x 6'-7 1/2" + R.O.	2	INTERIOR DOOR		○						
⑥	2x4 FRAME WALL	2668	2'-7" x 6'-7 1/2" + R.O.	1	INTERIOR DOOR	2868 DOOR							
⑦	2x4 FRAME WALL	4068 BI-FOLD	4'-1" x 6'-7 1/2" + R.O.	2	INTERIOR BI-FOLD DOOR	DOUBLE SWING DOORS							

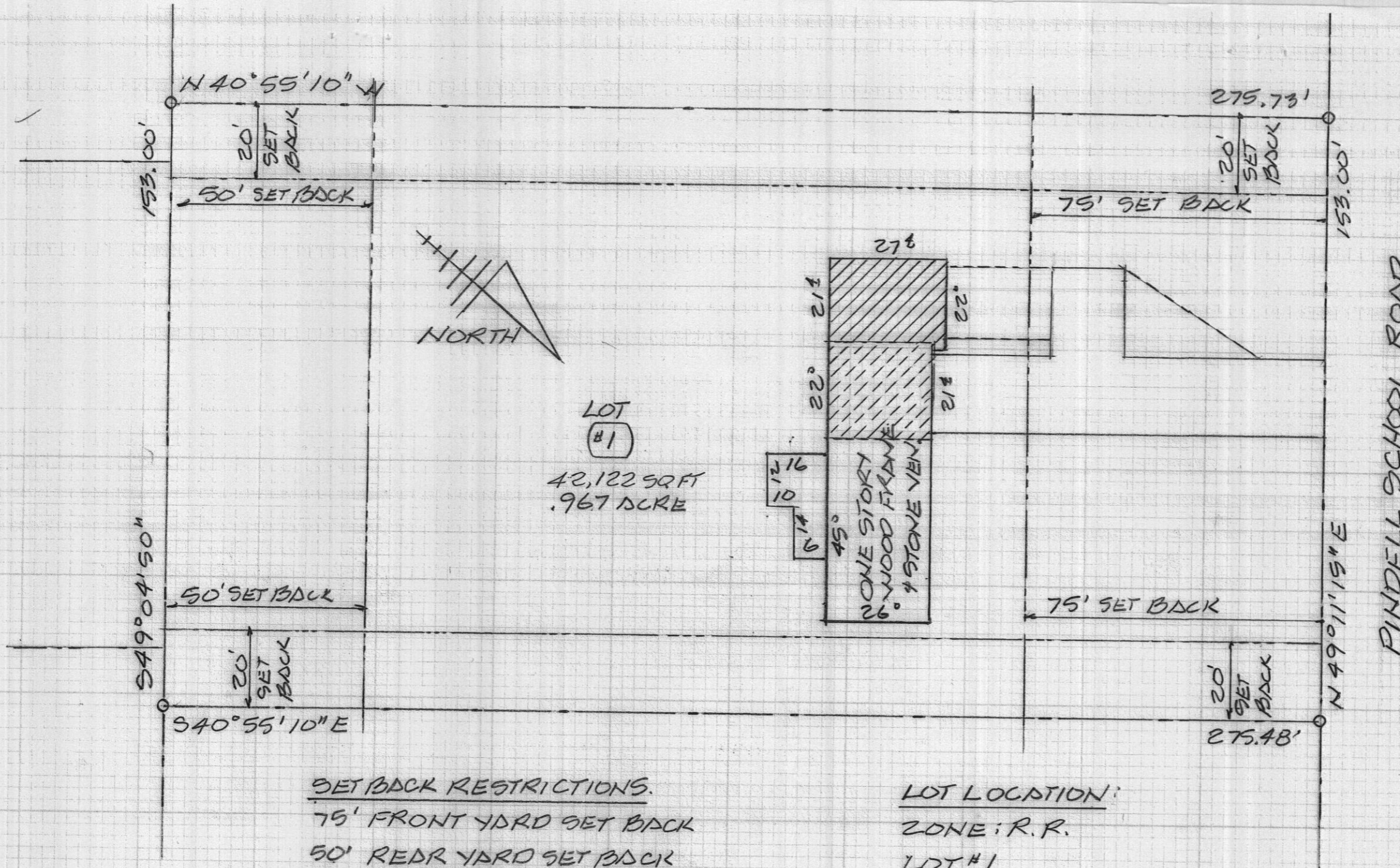
NOTE: FIELD VERIFY ALL SITE CONDITIONS AND SITUATIONS PRIOR TO ORDERING ANY DOORS + WINDOWS + ROOF TRUSSES.

DOOR + WINDOW SCHEDULES

ROOF TRUSS PROFILE 1/4"



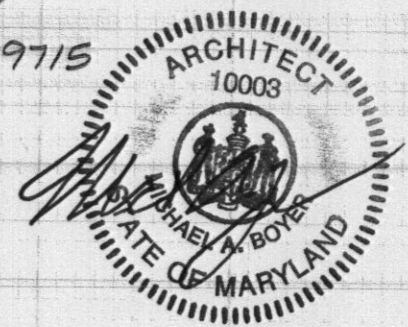
WIL RICHMAN RESIDENCE ADDITION
 7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715
 9.5.13
 SHEET
 6
 OF 13



SETBACK RESTRICTIONS.
 75' FRONT YARD SETBACK
 50' REAR YARD SETBACK
 20' LEFT SIDE YARD SETBACK
 20' RIGHT SIDE YARD SETBACK
 40' MAXIMUM BUILDING HEIGHT
 LOT SIZE / LOT SITE AREA
 42,122 SQ. FT. / .967 ACRE
 LOT COVERAGE: EXIST HOUSE: 1640 SQ. FT.
 NEW ADDITION: 566 SQ. FT.
 TOTAL: 2206 SQ. FT.
 LOT PERCENTAGE COVERAGE: 5.25%

LOT LOCATION:
 ZONE: R.R.
 LOT #1
 PLAT #3716
 MAP # 0041 GRID # 0009 PARCEL # 0413
 HOWARD COUNTY
 SIMONS ACRES SUBDIVISION
 7177 PINDELL SCHOOL ROAD
 FULTON, MARYLAND 20759-9715

SITE PLAN / PLAT PLAN - 1" = 30"



9.5.13
 SHEET
 7
 OF 13

WIL RICHMAN RESIDENCE ADDITION

7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715

1. GENERAL REQUIREMENTS

- 1.1 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER BEFORE PROCEEDING WITH FABRICATION OF STAIRS, ROOF, AND /OR FLOOR TRUSSES.
- 1.2 DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION. WHERE DRAWINGS ARE IN CONFLICT WITH OTHER DRAWINGS, SPECS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. LARGER SCALE DRAWINGS AND WRITTEN SPECIFICATION HAVE PRECEDENCE.
- 1.3 IN THE EVENT THAT CERTAIN FEATURES OR DETAILS ARE NOT FULLY SHOWN, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- 1.4 ALL PRODUCTS AND MATERIALS MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. IF A CONFLICT EXISTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATION, CONTACT THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THAT ALL MATERIAL INSTALLED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- 1.5 PROVIDE 22 1/2" X 30" ATTIC ACCESS WITH SWITCHED LIGHT, UNLESS OTHERWISE NOTED.
- 1.6 PROVIDE HANDRAILS 36" ABOVE NOSINGS ON ALL STAIRS W/ TWO OR MORE RISERS. RETURN RAILS TO WALL OR NEWEL. REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS. HANDRAILS MAY BE INTERRUPTED BY A NEWEL AT A TURN. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC.. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MIN. 36" HIGH (UNLESS OTHERWISE NOTED) AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE. HANDRAILS SHALL HAVE MAX. 2 1/4" GRIP CROSS SECTION.
- 1.7 PROVIDE NOMINAL 2X4 FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES, AND MID-HEIGHT FOR WALLS OVER 8' TALL. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE DRAFTSTOPPING, NOT TO EXCEED 500 SQ. FT. UNLESS DWELLINGS ARE FULLY SPRINKLED.
- 1.8 PROVIDE A MINIMUM OF 6" - 8" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 8 1/4" AND TREADS SHALL BE AT LEAST 8" WITH 1" NOSINGS, UNLESS LOCAL JURISDICTION REQUIRES OTHERWISE.
- 1.9 THE CONTRACTOR SHALL SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECS.
- 1.10 SLOPE ALL CONCRETE STAIRS, PORCHES, WALKS, AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
- 1.11 ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS, AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
- 1.12 CHIMNEYS SHALL EXTEND A MINIMUM OF 2' ABOVE ANY ROOF STRUCTURE WITHIN 10', BUT NO LESS THAN 3' AT POINT OF ROOF PENETRATION.
- 1.13 FLOOR JOISTS / TRUSSES AND ROOF TRUSSES SHALL ALIGN WITH BEARING STUDS +/- 1", OR PROVIDE TRIPLE PLATES.
- 1.14 PRIVATE GARAGES SHALL BE SEPARATED FROM ADJACENT DWELLING AND ATTIC WITH MINIMUM 5/8" DRYWALL ON GARAGE SIDE, AND 1-HR SELF CLOSING DOOR WHEN BENEATH LIVING SPACE. INSTALL DOUBLE LAYER FIRE RATED DRYWALL ON CEILING AND ALL SUPPORTING STRUCTURE.

2. SPECIFICATIONS

- 2.1 CONSTRUCTION SHALL COMPLY WITH THE LATEST ADDITION OF ALL APPLICABLE LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- 2.2 DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. GENERAL CONTRACTORS AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING CABINETRY, DOORS, PANELS, WINDOWS, AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
- 2.3 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND / OR OWNER.

3. SITE WORK

- 3.1 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON UNSTABLE MATERIAL (PROVIDING LESS THAN 1800 PSF CAPACITY).
- 3.2 SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR.
- 3.3 BACKFILL SHALL ONLY BE CLEAN EARTH CONTAINING NO ORGANIC MATTER. GRADE WITH POSITIVE SLOPE. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 90% DENSITY AS PER ASTM D1587 METHOD D.
- 3.4 PROVIDE 4" MINIMUM CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT FOUNDATION. OPTIONAL INTERIOR DRAIN TILE MAY BE INSTALLED AT THE BUILDERS DISCRETION.
- 3.5 PROVIDE PASSIVE UNDER SLAB RADON VENTING WHEN REQUIRED BY LOCAL JURISDICTION AND IN ACCORDANCE WITH APPENDIX F OF THE IRC.

4. CONCRETE

- 4.1 CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARDS: ACI-301, ACI-306, & ACI-318.
- 4.2 CONCRETE FOOTINGS SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI (UNLESS OTHERWISE NOTED).
- 4.3 ALL INTERIOR CONCRETE SLABS EXCEPT GARAGES SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- 4.4 FOUNDATION WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- 4.5 REINFORCING STEEL SHALL MEET ASTM A-615 & A-305, MESH: 6X6 - 14 / 14 WVF ASTM A-185. REINFORCING IN FOOTINGS IS REQUIRED WHERE VARIATIONS IN SOIL CONDITIONS MAY EXIST OR AS NOTED IN THE DRAWINGS.
- 4.6 EXTERIOR CONCRETE AND GARAGE SLABS SHALL BE 5% TO 7% AIR ENTRAINMENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- 4.7 ALL INTERIOR CONCRETE SLABS 30 FEET OR MORE IN ANY DIMENSION SHALL HAVE WVF, CONTROL JOINTS, OR FIBER REINFORCEMENT. PROVIDE 1/2" EXPANSION MATERIAL AT ALL COLD POUR JOINTS.
- 4.8 PROVIDE VAPOR BARRIERS UNDER ALL SLABS; 6 MIL POLYETHYLENE, LAP ALL EDGES 6", LAY OVER 4" GRAVEL BED.
- 4.9 POURED WALL VERTICAL REINFORCING WHEN REQUIRED SHALL BE PLACED MIN. 6" FROM SOIL FACE.

5. VERTICAL MASONRY

- 5.1 ALL MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ACI-530-92 & ACI-530.1-92.
- 5.2 THE MAXIMUM VERTICAL DISTANCE OF UNBALANCED FILL MEASURED FROM THE TOP OF THE FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCEED THE FOLLOWING HEIGHTS ARE FOR UNREINFORCED WALLS AND WHERE BACKFILL SOIL PROVIDES MEDIUM TO POOR DRAINAGE.

TYPE OF WALL	HEIGHT OF FILL 8"
C.M.U. (HOLLOW)	4'-0"
12" C.M.U. (HOLLOW)	5'-0"
12" C.M.U. (SOLID)	6'-0"

 HEIGHTS MAY BE INCREASED WITH THE APPROVAL OF THE LOCAL JURISDICTION, OR REINFORCING.
- 5.3 CONCRETE MASONRY UNITS SHALL BE MANUFACTURED TO MEET ASTM C-90, GRADE A SOLID OR ASTM C-145, GRADE B STANDARDS AND BE 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSION STRENGTH OF BLOCK TO BE 2000 PSI.
- 5.4 PORTLAND CEMENT MORTAR TO BE NOT LESS THAN 3/8" PORTLAND CEMENT FARGING FROM FOOTING TO FINISHED GRADE.
- 5.5 EXTREME CARE AND PROPER MEASURES SHALL BE USED WHILE INSTALLING BACKFILL SO AS NOT TO DAMAGE, BULGE, OR TIP WALL. SHORING, BRACING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALLS.
- 5.6 MASONRY LINTELS: PROVIDE LIGHT WEIGHT PRE-CAST LINTELS FOR ALL OPENINGS AND RECESSES IN CMU WALLS. PROVIDE (1) AND LINTEL FOR EACH 4" OF WALL THICKNESS. REINFORCE EACH LINTEL WITH TWO #4 BARS AT TOPPERS AND BOTTOM AND WITH #2 TIES SPACED 9" O.C. UNLESS OTHERWISE NOTED. PRECAST LINTEL TO HAVE MINIMUM 8" BEARING AT EACH END. SUCH LINTELS SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 5.7 USE TYPE "M" MORTAR FOR MASONRY IN CONTACT WITH EARTH.
- 5.8 USE TYPE "S" MORTAR FOR EXTERIOR ABOVE GRADE LOAD BEARING AND NON-LOAD BEARING WALLS, AND FOR OTHER APPLICATIONS WHERE ANOTHER TYPE IS NOT INDICATED.
- 5.9 MASONRY VENEER SHALL BE INSTALLED OVER A MOISTURE BARRIER OR APPROVED WATER REPELLENT SHEATHING. THROUGH-WALL FLASHING AND WEEPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER MAY POTENTIALLY ENTER THE BUILDING ENVELOPE.
- 5.10 MASONRY VENEER SHALL BEAR ON MIN. 4" LEDGE W/ TIES TO BACK-UP AT 24" O.C. VERT. VENEER SHOULD NOT EXCEED 30" ABOVE TOP OF FOUNDATION, EXCEPT GABLE ENDS MAY BE 36" MAX.
- 5.11 IF BRICK LEDGES ARE RECESSED INTO FOUNDATION WALLS THE RESULTING STEM WALL SHALL BE MIN. 8" THICK FOR CMU WALLS AND 6" FOR POURED IN PLACE WALLS.
- 5.12 PROVIDE WEEP HOLES ABOVE ALL FLASHING AT A MAX. OF 33" O.C. MAINTAIN MIN. 1" AIR SPACE BETWEEN VENEER AND SHEATHING.
- 5.13 ONLY IF APPLICABLE AND SHOWN IN THE DRAWINGS, FOR ATTACHED DWELLINGS, MASONRY FIREWALLS SHALL BE CONSTRUCTED OF 8" CMU, CLASSIFICATION D-2, IN ACCORDANCE WITH UL-905 TO PROVIDE 2-HR SEPARATION FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING.
- 5.14 BEAMS OR HEADERS BEARING ON MASONRY FIREWALLS SHALL HAVE MIN. 4" MASONRY SEPARATION FROM ADJACENT DWELLING, AND SHALL BE FIRE CUT.

6. METALS

- 6.1 ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36
- 6.2 STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BUILDING INSPECTOR APPROVED. MINIMUM (2) 1/2" DIAMETER BOLTS PER SECTION OR PLATING, 12" FROM EACH END WITH INTERMEDIATE BOLTS AT 6'-0" O.C. MAXIMUM STRAP SPACING NOT TO EXCEED 3'-6" O.C.

- 6.3 METAL JOIST HANGERS SHALL BE USED ALL FLUSH CONNECTIONS TO SUPPORT THE FULL CAPACITY OF THE JOIST OR BEAM. CONNECTORS USED FOR P.T. LUMBER SHALL BE CORROSION RESISTANT AS APPROVED BY THE MANUFACTURER.
- 6.4 NAILS, USE NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE CURRENT MODEL CODE OR MANUFACTURER'S RECOMMENDED STANDARDS.
- 6.5 VENEER TIES SHALL BE 1" WIDE, 22GA, GALVANIZED STEEL INSTALLED 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY.
- 6.6 PROVIDE STEEL LINTELS FOR ALL OPENINGS AND RECESSES IN BRICK OR BRICK FACED MASONRY WALL SO IF NOT SPECIFICALLY DETAILED PROVIDE (1) STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM 6" BEARING AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE NOTED ON DRAWINGS.
- 6.7 LINTEL SCHEDULE: STEEL ANGLE.

L-1	3 1/2" X 3 1/2" X 5/16"	UP TO 3' OPENING.
L-2	4" X 3 1/2" X 5/16"	3' TO 5' OPENING.
L-3	5" X 3 1/2" X 3/8"	5' TO 6'-6" OPENING.
L-4	6" X 3 1/2" X 1/2"	UP TO 8' OPENING.
- 6.8 LINTELS SHOWN SHALL NOT SUPPORT ANY SUPERIMPOSED LOADS.
- 6.9 ALL STEEL ANGLES IN MASONRY WALLS SHALL BE FLASHED AND PAINTED.
- 6.10 PAINT ALL EXTERIOR FERROUS OR GALVANIZED METALS EXCEPT COMPLETELY PRE-FINISHED FACTORY ITEMS.
- 6.11 ADJUSTABLE STEEL COLUMNS SHOWN ON THE DRAWINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH CURRENT MODEL CODE STANDARDS IN O.D. SIZES SPECIFIED.
- 6.12 WOOD PLATE ATTACHMENT TO STEEL BEAMS SHALL BE WITH 1/2" DIAMETER BOLTS AT 24" STAGGERED O.C.

7. WOOD

- 7.1 ALL STRUCTURAL LUMBER SHALL BE STAMPED IN ACCORDANCE WITH THE "CONSTRUCTION MANUAL" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- 7.2 PRESSURE TREATED (P.T.) LUMBER SHALL CONFORM TO AWP-A-U1 & M4. PRESERVATIVES SHALL CONFORM TO AWP-A-P1/F1S, P2, P3, P5, P8, OR P9.
- 7.3 JOISTS AND GIRDETS: SEE PLANS FOR SIZE, SPACING AND MINIMUM GRADE AND SPECIES. HEM FIR AND SPRUCE-PINE-FIR (SPF) SHALL BE NORTHERN SPECIES PERS. ONLY. MAX. MOISTURE CONTENT SHALL NOT EXCEED 19%.
- 7.4 PROVIDE DOUBLE SOLID JOISTS UNDER ALL PARALLEL PARTITIONS OVER 5'-0" IN LENGTH UNLESS MANUFACTURER'S SHOP DRAWINGS SHOW OTHERWISE.
- 7.5 WHEN ENGINEERED BEAMS ARE SPECIFIED ON THE DRAWINGS AS LVL OR PSL, THEY ARE INTERCHANGEABLE. (MIN. F/B = 2600 PSI) NO OTHER SUBSTITUTIONS ARE TO BE MADE WITHOUT ARCHITECT'S APPROVAL. ALL SUCH BEAMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 7.6 BEARING WALL STUDS SHALL BE MINIMUM SPF STUD GRADE, KD OR BETTER.
- 7.7 EXTERIOR WALLS, UP TO 10' SUPPORTING (1) FLOOR & ROOF MAY BE 2X4 @ 16" O.C. SUPPORTING (2) FLOORS AND ROOF SHALL BE 2X6 @ 16" O.C.
- 7.8 INTERIOR NON-BEARING WALLS MAY BE SPF #5 2X4 STUDS, @ 24" O.C.
- 7.9 LATERAL WALL BRACING SHALL BE PROVIDED BY CONTINUOUS APPROVED STRUCTURAL SHEATHING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECS. ALTERNATE WALL BRACING MUST COMPLY W/ SECTION 602.10 OF THE IRC.
- 7.10 RAFTERS: SEE PLANS FOR SIZE, SPACING, MINIMUM GRADE AND SPECIES.
- 7.11 DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE TP-82. STRUCTURAL DESIGN SHALL BE BY A REGISTERED PROFESSIONAL ENGINEER.
- 7.12 BRACING OF WOOD TRUSSES TO BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE INC. PUBLICATION: BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS, H18-91. INSTALL MINIMUM OF (2) 2X4 DIAGONAL BRACES AT APPROX. 45 DEGREES, FROM BOTTOM CHORD TO RIDGE IN EACH ROOF SECTION.
- 7.13 ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THAT TYPE, GRADE AND SPECIES OF WOOD, AND SHALL BE IDENTIFIED BY AN APPROVED TESTING AGENCY.
- 7.14 PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED TO JOISTS IN ACCORDANCE WITH APA RECOMMENDATIONS. LEAVE 1/8" SPACE AT ALL EDGES FOR EXPANSION OR AS PER MANUFACTURER'S RECOMMENDATIONS.
- 7.15 PLYWOOD ROOF SHEATHING SHALL BE INSTALLED WITH PANEL CLIPS (1 PER BAY). LEAVE 1/8" SPACE AT PANEL ENDS.

- 7.16 REFERENCE TO NOMINAL THICKNESS SHALL MEAN THE FOLLOWING ACTUAL THICKNESS AND SPECIFICATIONS

5/4" = 23/32" APA RATED STURDI-FLOOR	24 O.C. EXPOSURE
5/8" = 19/32" APA RATED STURDI-FLOOR	24 O.C. EXPOSURE
1/2" = 15/32" APA RATED SHEATHING	32/16 EXPOSURE
7/16" = 7/16" RATED SHEATHING (05B)	24/16 EXPOSURE
- 7.17 ONLY IF APPLICABLE AND SHOWN ON THE DRAWINGS ATTACHED DWELLINGS W/2 HOUR RATED FIRE SEPARATION SHALL HAVE FIRE RESISTANT TREATED (F.R.T.) ROOF SHEATHING 4' EACH SIDE OF THE PARTYWALL CENTERLINE. PLYWOOD SHALL BE CERTIFIED NOT TO CAUSE ACID HYDROLYSIS AT MOST CONDITIONS AT TEMPERATURE BELOW 400 DEGREES F. ALTERNATIVES TO THE USE OF F.R.T. SHALL ONLY BE AS APPROVED BY THE LOCAL JURISDICTION. THE INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13D MAY ALLEVIATE THE NEED FOR F.R.T. IN CERTAIN JURISDICTIONS- VERIFY WITH BUILDING CODE OFFICIAL.
- 7.18 ALL WOOD LESS THAN 8" FROM GRADE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED AS PER CURRENT AWP/A STANDARDS.
- 7.19 NOTCHES IN TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED 1/6 OF DEPTH AND SHALL NOT OCCUR IN CENTER THIRD OF SPAN.
- 7.20 HOLES BORED IN SOLID JOISTS SHALL NOT BE WITHIN 2" OF TOP OR BOTTOM, AND SHALL NOT EXCEED 1/3 DEPTH.
- 7.21 UNLESS NOTED ELSEWHERE ON THESE DRAWINGS, STRUCTURAL WINDOW AND DOOR HEADERS SHALL BE MIN. SPF NO. 2 (F#-875 PSI) OF SIZE SPECIFIED ON DRAWINGS. OPENINGS 3' OR LESS SHALL HAVE MIN. (2) -2X10 HEADERS.
- 7.22 UNLESS OTHERWISE NOTED ON THE DRAWINGS, STRUCTURAL WINDOW AND DOOR JACK STUDS SHALL BE MIN. STUD GRADE, KD OR BETTER. PROVIDE SINGLE JACK STUDS AT OPENINGS LESS THAN 4'-0" AND DOUBLE JACK STUDS AT OPENINGS UP TO 7'-0".
- 7.23 ALL FASTENERS SHALL BE IN ACCORDANCE WITH TABLE 602.5 OF THE IRC.
- 7.24 MULTIPLE STUDS OR POSTS SHALL BE BLOCKED SOLID THROUGH FLOORS AS REQUIRED TO PROVIDE CONTINUOUS SUPPORT TO THE FOUNDATION.

8. THERMAL AND MOISTURE PROTECTION

- 8.1 DAMP-PROOFING: APPLY (1) COAT OF BITUMINOUS 55% OF ACRYLIC MODIFIED CEMENT OR ANY APPROVED WATERPROOFING TO EXTERIOR OF ALL BELOW GRADE WALLS AT BASEMENT CONDITIONS.
- 8.2 SLAB VAPOR BARRIER: 6 MIL POLYETHYLENE SHEET WHERE NOTED ON DRAWINGS. OVERLAY ALL EDGES 6".
- 8.3 GILL SEALER: 1/2" X 5 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES, OR OTHER APPROVED SILL SEALER.
- 8.4 PROVIDE APPROVED CORROSION RESISTANT FLASHING AT THE INTERSECTIONS OF MASONRY AND WOOD FRAME CONSTRUCTION, OVER PROJECTING WOOD TRIM, WHERE DECKS, PORCHES, ETC., ARE ATTACHED TO WOOD FRAME CONSTRUCTION, AT WALL AND ROOF INTERSECTIONS, AT CHIMNEY AND ROOF INTERSECTIONS, IN ROOF VALLEYS, AT ALL ROOF PENETRATIONS, AND AT WALL OPENINGS IF RECOMMENDED BY WINDOW AND DOOR MANUFACTURER.
- 8.5 UNLESS OTHERWISE SPECIFIED ON DRAWINGS, PROVIDE AND INSTALL THERMAL INSULATION. ALL INSULATION SHALL INCLUDE AN INTEGRAL VAPOR BARRIER POSITIONED ON THE WARM SIDE OF THE WALL / CEILING. EXPOSED INSULATION IN UNFINISHED SPACE SHALL HAVE A MIN. R5-25 FACING.
- 8.6 ROOFING, UNLESS OTHERWISE NOTED, ROOFING SHALL BE MIN. CLASS "C" FIBERGLASS BASED ASPHALT SHINGLES OVER 1/2" FELT. ATTACH STRIP SHINGLE W/ MIN. OF 4 FASTENERS. EAVE FLASHING TO A POINT 24" INSIDE OF INTERIOR FACE OF WALL LINE MAY BE INSTALLED AT THE OWNER'S DISCRETION. USE DOUBLE UNDERLAYMENT FOR ROOF SLOPES LESS THAN 4:12 PITCH.
- 8.7 PROVIDE AND INSTALL CONTINUOUS STRUCTURAL WOOD PANEL SHEATHING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MODEL CODE REQUIREMENTS.
- 8.8 PROVIDE SIDING MATERIAL AS SHOWN ON DRAWINGS AND INSTALLED AS PER MANUFACTURER'S SPECS. INSTALL OVER #15 FELT OR APPROVED WEATHER RESISTIVE MATERIALS, AIR INFILTRATION BARRIER OR MOISTURE RESISTANT SHEATHING.
- 8.9 GUTTERS SHALL BE .032" PREFINISHED ALUMINUM GUTTERS WITH .024" PREFINISHED ALUMINUM LEADERS. LEAD TO SPLASH BLOCKS OR AS REQUIRED BY THE LOCAL CODES.

- 8.10 PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS. MAINTAIN MINIMUM 1/500 FREE VENTILATION FOR HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD BAFFLES IN EACH TRUSS / RAFTER BAY TO MAINTAIN FREE AIR FLOW. ALL REVERSE GABLES SHALL BE OPEN TO MAIN ROOF ATTIC TO ALLOW FREE AIR FLOW.

9. DOORS AND WINDOWS

- 9.1 THE CONTRACTOR SHALL VERIFY AND COORDINATE ROUGH OPENINGS FOR ALL DOORS AND WINDOWS PRIOR TO START OF CONSTRUCTION. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECS.
- 9.2 EACH SLEEPING ROOM AND BASEMENT SPACE (UNLESS AMENDED OTHERWISE BY LOCAL JURISDICTION) SHALL HAVE AT LEAST ONE OPERABLE WINDOW PROVIDING 5.7 SQ.FT. (5.4 SQ.FT. AT GRADE CONDITIONS) OF NET CLEAR OPENINGS AS CERTIFIED BY THE MANUFACTURER. WITH A SILL HEIGHT NOT MORE THAN 44" A.F.F. OR OTHER CLEAR DIRECT MEANS OF EGRESS TO THE OUTSIDE WINDOW WELLS, IF REQUIRED, SHALL BE MIN. 3'x3'.
- 9.3 TEMPERED GLASS (SAFETY GLAZING) SHALL BE PROVIDED IN:
 - GLASS DOORS, & SIDELIGHTS
 - SHOWER AND TUB ENCLOSURES AND WINDOWS WITHIN 6' OF TUB
 - GLAZING ON STAIR LANDINGS
 - FIXED PANELS GREATER THAN 9 SQ.FT. WITHIN 18" OF FINISHED FLOOR
 - GLAZING WITHIN 12" OF A STAIR RAILING
 - GLAZING WITHIN 24" RADIUS OF CLOSED DOORS
- 9.4 IF APPLICABLE PROVIDE SELF CLOSING DOOR BETWEEN DWELLING AND GARAGE. DOOR SHALL BE 1 3/4" THICK SOLID WOOD OR INSULATED STEEL W/ MIN. 20 MINUTE FIRE RATING.

10. FINISHES

- 10.1 DRYWALL: 1/2" TAPERED EDGE GYPSUM BOARD APPLIED, TAPED, AND FINISHED IN ACCORDANCE WITH GYPSUM ASSOCIATION GA-216 AND ASTM C-840.
- 10.2 5/8" GYPSUM BOARD IS TO BE USED TO COMPLETELY SEPARATE GARAGE FROM LIVING AREA, APPLIED ON GARAGE SIDE PER THE PLANS, OR IN MANOR ACCEPTABLE TO LOCAL JURISDICTION.
- 10.3 IF APPLICABLE AND AS SHOWN ON THE DRAWINGS, PROVIDE FIRE RESISTANT RATED ASSEMBLIES AS DETAILED FOR PARTYWALLS OR OTHER RATED WALLS OR FLOORS. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE TESTING AGENCY'S REQUIREMENTS.
- 10.4 UNDERSIDE AND WALLS OF ACCESSIBLE, ENCLOSED SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD.
- 10.5 WHEN CERAMIC TILE IS USED, WATER RESISTANT GYPSUM BOARD 1/2" THICK, OR APPROVED EQUAL, IS REQUIRED AT TUB AND SHOWER SURROUNDS TO A HEIGHT OF 36" ABOVE TUB OR SHOWER PAN. GLASS MESH CEMENT BOARD IS A PREFERRED ALTERNATIVE.
- 10.6 INTERIOR PAINT (COORDINATE WITH HOME OWNER / MANUF. SPEC.)
 - CELLINGS: 1 COAT PRIMER, 1 COAT FLAT LATEX
 - FINISH WALLS: 1 COAT PRIMER, 1 COAT FLAT LATEX
 - FINISH TRIM: 1 COAT PRIMER, 1 COAT SEMI-GLOSS ENAMEL FINISH
- 10.7 EXTERIOR PAINT (COORDINATE WITH HOME OWNER / MANUF. SPEC.)
 - TRIM: 1 COAT PRIMER, 1 COAT EXTERIOR GRADE LATEX ENAMEL
- 10.8 CERAMIC TILE WALLS SHALL BE GLAZED MOSAIC TILE OVER WATER RESISTANT GYPSUM BOARD OR GLASS MESH MORTAR UNITS. USE THIN SET ORGANIC ADHESIVE (ANSI A108.4) OVER GYPSUM BOARD AND DRY-SET LATEX PORTLAND MORTAR (ANSI A108.5) OVER CEMENT BOARD. FLOOR TILE SHALL BE GLAZED MOSAIC TILE OVER A MINIMUM 5/8" PLYWOOD UNDERLAYMENT, SCREWED 12" O.C. TO SUBFLOOR OR AS RECOMMENDED BY MANUFACTURER. USE EPOXY MORTAR AND GROUP APPLICATION (ANSI A118.3). JOIST SPACING SHALL NOT EXCEED 18.2" O.C.
- 10.9 RESILIENT FLOORS SHALL BE SHEET VINYL, RESILIENT FLOORING, OVER 1/4" MIN. FIBERBOARD OR PLYWOOD UNDERLAYMENT OR AS DIRECTED BY THE OWNER.

11. SPECIALTIES

- 11.1 IF APPLICABLE, PREBUILT FIREPLACES SHALL BE UL APPROVED AND INSTALLED ACCORDING TO THE MANUFACTURER'S SPECS.
- 11.2 TOILET AND BATH ACCESSORIES SHALL BE AS SPECIFIED BY THE OWNER.
- 11.3 MIRROR QUALITY AND SIZES TO BE SPECIFIED BY THE OWNER.
- 11.4 PROVIDE EITHER SHOWER RODS 80" ABOVE FINISHED FLOOR, OR TEMPERED, OR SAFETY LAMINATE GLASS DOORS, AS SPECIFIED BY THE OWNER.

12. MECHANICAL

- 12.1 HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE ALL OPENINGS IN JOISTS, TRUSSES, ETC.. WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK. ALL WORK SHALL BE PERMITTED IN COMPLIANCE WITH ALL LOCAL MECHANICAL AND PLUMBING CODES.
- 12.2 PROVIDE ONE DAMPER REGISTER PER 900 SQ.FT. OF UNFINISHED BASEMENT SPACE IF APPLICABLE.
- 12.3 PROVIDE EXHAUST FANS AT EACH BATH, AND VENT TO EXTERIOR OF DWELLING.
- 12.4 IF APPLICABLE AND REQUIRED BY LOCAL CODE, PROVIDE FIRE SUPPRESSION SYSTEMS IN ACCORDANCE WITH NFPA 13D. CONFIRM SUCH REQUIREMENTS WITH THE LOCAL JURISDICTION BEFORE PROCEEDING WITH ANY WORK.
- 12.5 ALL DUCTWORK THAT PENETRATES A RATED WALL OR FLOOR ASSEMBLY SHALL BE PROVIDED WITH FIRE DAMPERS.
- 12.6 ALL VENTS AND FLUES SHALL BE INSTALLED WITH A MINIMUM OF 1' CLEARANCE TO ADJACENT WOOD FRAMING, GREATER IF SPECIFIED BY MANUFACTURER.
- 12.7 ANY PIPING PASSING UNDER FOOTINGS OR THROUGH A FOUNDATION WALL OR SLAB SHALL BE PROVIDED WITH A SLEEVE TWO PIPE SIZES LARGER THAN THE SUBJECT PIPE.
- 12.8 PROVIDE OVERFLOW PANS AND DRAINS FOR WASHER AND WATER HEATER WHEN LOCATED ON A WOOD FLOOR SYSTEM.
- 12.9 PROVIDE HOSE BIBBS (FREEZE PROOF OR WITH SHUT OFF) AT FRONT AND REAR OF DWELLINGS, OR AS SHOWN ON DRAWINGS.
- 12.10 PROVIDE 1 1/2" CONDENSATE LINE FROM WATER HEATER AND AIR HANDLER TO POSITIVE OUTFALL OR TO SUMP PUMP IF PROVIDED OR AS DIRECTED BY LOCAL JURISDICTION.

13. ELECTRICAL

- 13.1 ALL PERMITTED WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY, AND ALL APPLICABLE LOCAL REGULATIONS, FUTURES AND APPLIANCES, AS SPECIFIED BY THE OWNER OR AS NOTED ON THE DRAWINGS.
- 13.2 ALL RECEPTACLES AT KITCHEN COUNTERS, VANITIES AND REFRIGERATOR TO BE 42" ABOVE FINISHED FLOOR. SWITCHES SHALL BE 48" MAX. ABOVE FINISHED FLOOR.
- 13.3 PROVIDE GFCI RECEPTACLES AT ALL WET LOCATIONS AND IN ACCORDANCE WITH N.E.C. REQUIREMENTS.
- 13.4 PROVIDE HARDWIRED SMOKE DETECTORS IN EACH SLEEPING ROOM AND AT EACH FLOOR LEVEL WITHIN 10' OF EACH SLEEPING AREA, NOT CLOSER THAN 4' FROM RETURN AIR INLETS. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND SIMULTANEOUSLY.
- 13.5 IF REQUIRED BY THE LOCAL CODE, PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE RADON EXTRACTION FAN (W/ SWITCH) LOCATED IN ATTIC SPACE OR AS SPECIFIED BY THE OWNER.
- 13.6 ALL BRANCH CIRCUITS SERVING BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS PER NEC.
- 13.7 ALL PERMANENT APPLIANCES SHALL BE PROVIDED WITH BRANCH CIRCUIT OVER CURRENT DISCONNECTION DEVICES. FOR APPLIANCES RATED OVER 500 VOLTS-AMPS OR 1/8hp. DISCONNECT SHALL BE WITHIN LINE OF SIGHT.

14. DESIGN LOAD BASIS

Roof LL.....	35 PSF	2nd Flr LL.....	55 PSF
Roof DL.....	10 PSF	2nd Flr DL.....	10 PSF
Combo.....	45 PSF	Combo.....	45 PSF
Clg DL.....	10 PSF	Wind Load.....	20 PSF
1st Flr LL.....	45 PSF		
1st Flr DL.....	10 PSF		
Combo.....	55 PSF		

15. ENERGY CODE NOTE

THIS PROJECT IS REQUIRED TO COMPLY WITH 2009 INTERNATIONAL ENERGY CODES IN RESPECT TO WALL INSULATION, CEILING / ROOF, SKY LIGHTS, SUNROOM GLASS, AIR LEAKAGES FIRE PLACES, WATER HEATERS, HEAT PUMPS, DUCT INSULATION. CONTRACTOR TO REFER TO THIS CODE PRIOR TO CONSTRUCTION TO INSURE COMPLIANCE.

***ALL WORK TO COMPLY WITH IRC / IBC 2012

CONTRACTOR MUST FIELD VERIFY ALL MEASUREMENTS

W & L RICHMAN RESIDENCE ADDITION
 7177 PINDELL SCHOOL ROAD FULTON, MARYLAND 20759-9715
 9.5.13
 SHEET
 8
 OF 13