



# Building Permit Application

Howard County Maryland  
 Department of Inspections, Licenses and Permits  
 3430 Court House Drive  
 Permits: 410-313-2455  
 www.howardcountymd.gov

# RECEIVED

Date Received: \_\_\_\_\_

12/13/2013

LICENSES & PERMITS DIVISION  
 B13004529

Building Address: 17259 Harley Rd.  
 City: Woodbury State: MD Zip Code: 21747  
 Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Spring Hollow  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 27  
 Tax Map: 07 Parcel: 528 Grid: 08  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 40,010

Existing Use: Vacant lot  
 Proposed Use: New SFD  
 Estimated Construction Cost: \$ 300K  
 Description of Work: New 4 bedroom 2 story with attached two car, unfinished basement

Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>34</u>	<u>53</u>
	2 <sup>nd</sup> floor: <u>34</u>	<u>53</u>
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Property Owner's Name: Cumberland Dev. Corp  
 Address: 16391 A.E. Millard Rd  
 City: Woodbury State: MD Zip Code: 21747  
 Phone: 301 252-1192 Fax: \_\_\_\_\_  
 Email: Cumberlanddev@gmail.com

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: Cumberland Development  
 Contact Person: Curtis Cumberland  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 License No.: \_\_\_\_\_  
 Phone: 301 252-1192 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: Charles R Crocker  
 Responsible Design Prof.: \_\_\_\_\_  
 Address: 902 Lee Ave  
 City: Sykesville State: MD Zip Code: 21157  
 Phone: 410 549-2708 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G13000402</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Curtis Cumberland  
 Email Address: CumberlandDev@gmail.com  
 Title/Company: President

Print Name: Curtis Cumberland  
 Date: 12/13/13

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
<del>State Highways</del>		
<del>Building Officials</del>		
<del>PSZA (Zoning)</del>		
<del>PSZA (Engineering)</del>		
Health	<u>1-15-14</u>	<u>Dennis Bernard</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>8739</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Office of the Health Officer  
8930 Stanford Drive, MD 21045  
Main: 410-313-6300 | Fax: 410-313-6303  
TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)  
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

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DATE: January 9, 2014

TO: Curtis Cumberland  
Cumberland Development Corp.  
Via E-mail: [cumberlanddev@gmail.com](mailto:cumberlanddev@gmail.com)

RE: **Building Permit # B13004528 and B13004529**  
**17259 Hardy Road**  
**Mount Airy, Maryland 21771**

Mr. Cumberland,

Further review is contingent upon submission of a revised building plan showing the following:

- Septic Tank must be 20 feet away from the house.
- Septic system and all of its components must be shown on plan.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,  
  
Dana Bernard, REHS/RS  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)

cc: Well & Septic program file

**ENVIRONMENTAL SITE DESIGN NARRATIVE**

1. THERE ARE NO STREAMS, WETLANDS, FLOOD PLAINS OR FORESTED AREAS LOCATED ON THE LOT # 27. THE ON-SITE SEWAGE DISPOSAL AREA HAS BEEN RELOCATED AS FAR TO THE REAR OF THE LOT AS POSSIBLE TO PROVIDE FOR GRADING TO ACHIEVE RUNOFF DISCONNECTS. STORM WATER MANAGEMENT FOR WATER QUALITY IS PROVIDED BY NON-STRUCTURAL RUNOFF REDUCING PRACTICES TO LIMIT THE IMPACT OF THE DEVELOPMENT ON NATURAL RESOURCES AND THE SURROUNDING PROPERTY.
2. GRADING ON SITE IS LIMITED TO ONLY THAT REQUIRED TO ACCOMPLISH DISCONNECTS FOR ROOFTOP RUNOFF WHILE MAINTAINING NATURAL FLOW PATTERNS.
3. IMPERVIOUS AREA WAS HELD TO THE MINIMUM REQUIRED TO ACCOMPLISH THE WORK BY LOCATING THE PROPOSED DWELLING AS CLOSE TO HARDY ROAD AS PRACTICAL BASED UPON THE LOCATION OF EXISTING DWELLINGS ON ADJOINING PROPERTIES.
4. TEMPORARY PERIMETER SEDIMENT CONTROL IN THE FORM OF SUPER SILT FENCE IS PROPOSED IN ORDER TO PROVIDE TEMPORARY SWM VIA RUNOFF RETENTION DURING CONSTRUCTION.
5. ENVIRONMENTAL SITE DESIGN HAS BEEN IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE BY THE USE OF ROOFTOP AND NON-ROOFTOP DISCONNECTS, TO SATISFY WATER QUALITY MANAGEMENT.
6. NO WAIVERS FROM THE SUBDIVISION REGULATIONS AND OR DESIGN MANUAL ARE REQUIRED FOR THE PROJECT AS SHOWN HEREON.
7. LOTS 27, 28 AND 29 ARE BEING DEVELOPED INDEPENDENTLY WITH LOT 29 BEING THE FIRST LOT TO BE DEVELOPED AND LOT 27 THE SECOND.

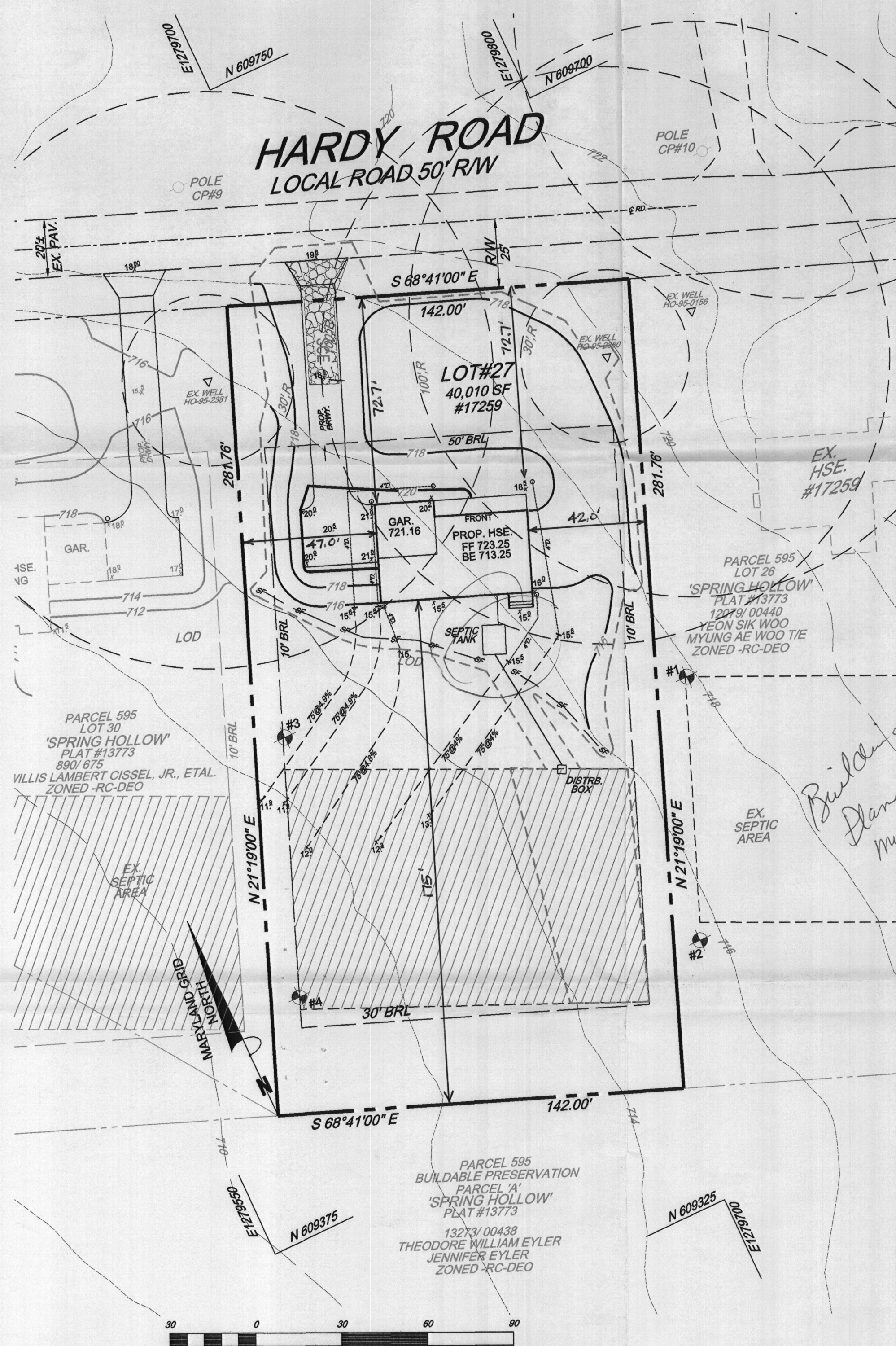
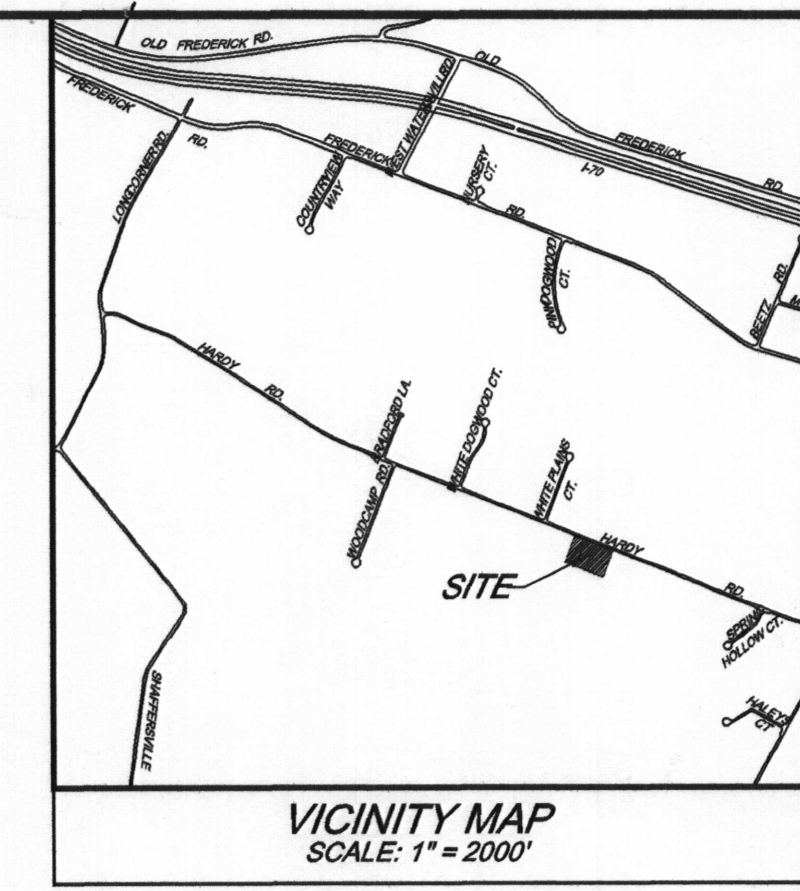
SOILS LEGEND					
SYMBOL	NAME/DESCRIPTION	SOIL GROUP	K-VALUE	K-VALUE	HYDRO GROUP
GgA	Glennville loam, 0 to 3 percent slopes	B	0.20	+	NOT HYDRO
GgB	Glennville loam, 3 to 8 percent slopes	B	0.20	-	NOT HYDRO

**REQUIRED SEQUENCE OF CONSTRUCTION (SINGLE FAMILY LOT)**

1. OBTAIN GRADING PERMIT (1-DAY)
2. CLEAR AND GRUB FOR INSTALLATION OF TEMPORARY SEDIMENT CONTROL MEASURES, SILT FENCE AND STONE CONSTRUCTION ENTRANCE. (1/2 DAY)
3. INSTALL TEMPORARY SEDIMENT CONTROL MEASURES (1/2 DAY)
4. UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB SITE FOR CONSTRUCTION OF DWELLING, DRIVEWAY AND WALKS. (1 DAY)
5. GRADE SITE AND CONSTRUCT DWELLING, DRIVEWAY AND WALKS PER APPROVED PLAN (12 - WEEKS)
6. STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH PER SCS STANDARDS. (2 DAYS)
7. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES AND STABILIZE ALL DISTURBED AREAS PER SCS STANDARDS. (2 DAYS)

**LEGEND-SWM- MDE DESIGNATION**

DOWN SLOPE — N-1 DENOTES ROOF-TOP RUNOFF DISCONNECT



*Builder's Plan must be installed SS*

**GENERAL NOTES**

1. OWNERS: WILLIS LAMBERT CISSEL, JR., MARJORIE S. CISSEL, ETAL. C/O CURTIS CUMBERLAND DEVELOPMENT CORP. 16391 MULLINX RD. WOODBINE, MD. 21797
2. TAX MAP 007, GRID 08, PARCEL 528
3. THE BOUNDARY SHOWN HEREON IS BASED UPON RECORDED PLAT OF "SPRING HOLLOW" PLAT #13773
4. WATER SERVICE IS PRIVATE, SEWER SERVICE IS PRIVATE
5. THERE IS NO 100 YEAR FLOOD PLAIN LOCATED ON THIS PROPERTY BASED ON FEMA INSURANCE RATE MAP COMMUNITY PANEL #8402700100 ZONE X
6. TOPOGRAPHY SHOWN HEREON IS FIELD RUN BASED UPON HOWARD COUNTY GIS DATA NAVD83, CONTOUR INTERVAL = 2 FT. FIELD VERIFIED BY CRC & ASSOC.
7. THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100 FT OF THE SUBJECT PROPERTY UNLESS OTHERWISE SHOWN HEREON.
8. EXISTING WELLS HO-85-2380, HO-85-2382, HO-85-2381, HO-85-2380, HO-0156, HO-95-1924 AND THE WELL WITH NO TAG ON ADJOINING PROPERTY 17270 HARDY RD. SHOWN HEREON HAVE BEEN FIELD LOCATED AND SHOWN ACCURATELY.
9. SUBJECT PROPERTY IS ZONED RC-DEO
10. THE SUBJECT PROPERTY SHOWN HEREON IS NOT SUBJECT TO ANY PRIOR ZONING CASES, VARIANCES OR SPECIAL EXCEPTIONS. PROPERTY HISTORY S-88-01, P-88-26 & F-88-30
11. STORMWATER MANAGEMENT FOR THE SUBJECT PROPERTY SHOWN HEREON HAS BEEN SATISFIED BY TAKING CREDIT FOR DISCONNECTED ROOF TOP AND NON-ROOF TOP RUNOFF IN ACCORDANCE WITH MDE STORM WATER DESIGN MANUAL VOL. I, SEC. 5.1 AND MDE ENVIRONMENTAL SITE DESIGN (ESD), THE HOWARD CO. DESIGN MANUAL VOL. I CHAPTER 5 REVISED AND THE HOWARD CO. DESIGN ESD, ON SMALL PROJECTS.

**SITE ANALYSIS**

TOTAL AREA SITE 40,010 SF  
 AREA DISTURBED 18,940 SF  
 AREA TO BE ROOFTOP 4,880 SF (11% IMPERVIOUS)  
 AREA TO BE VEGETATIVELY STABILIZED 1,886 SF  
 TOTAL VOLUME CUT 513 CY.  
 TOTAL VOLUME FILL 513 CY.

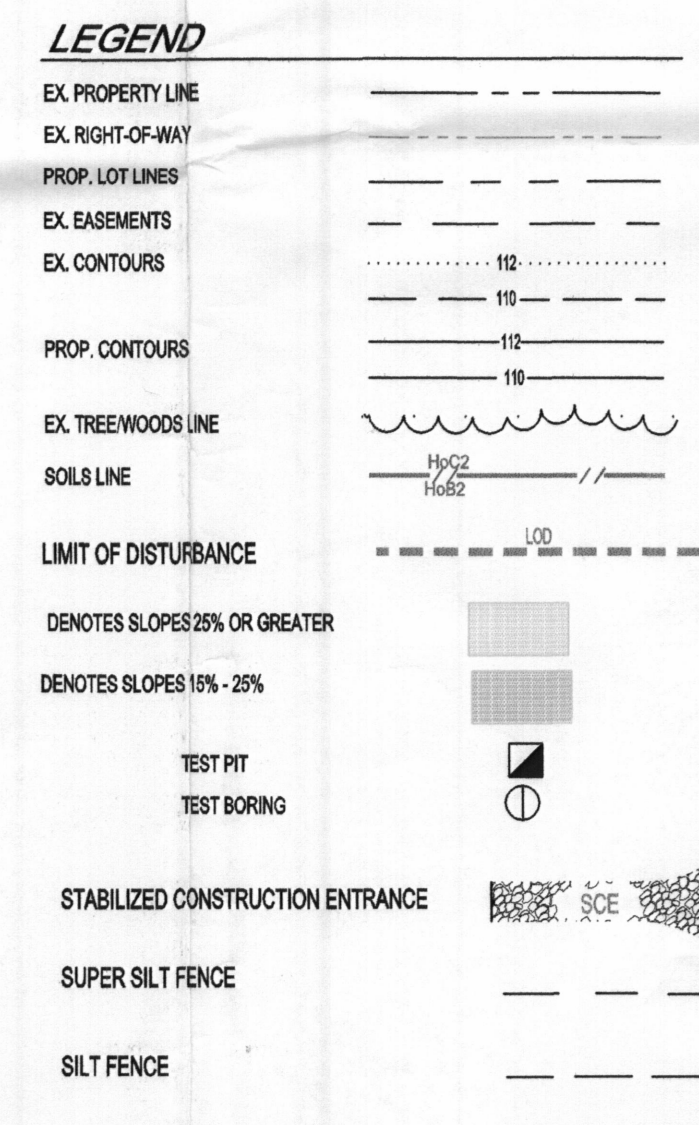
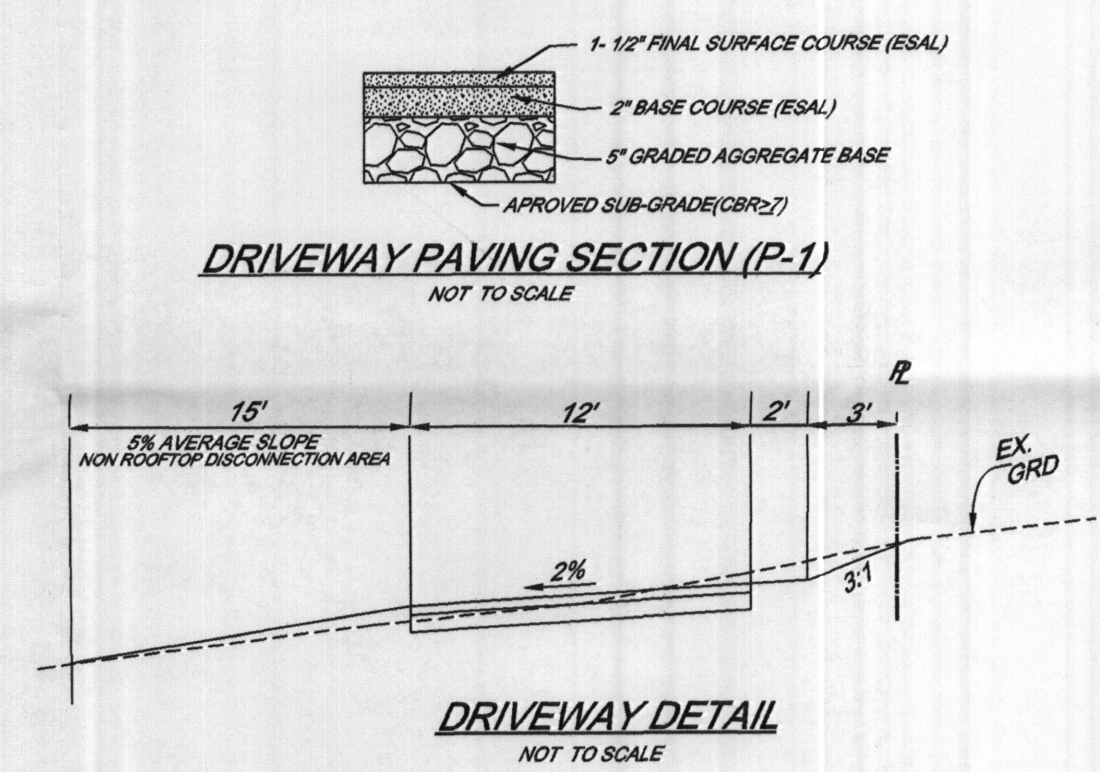
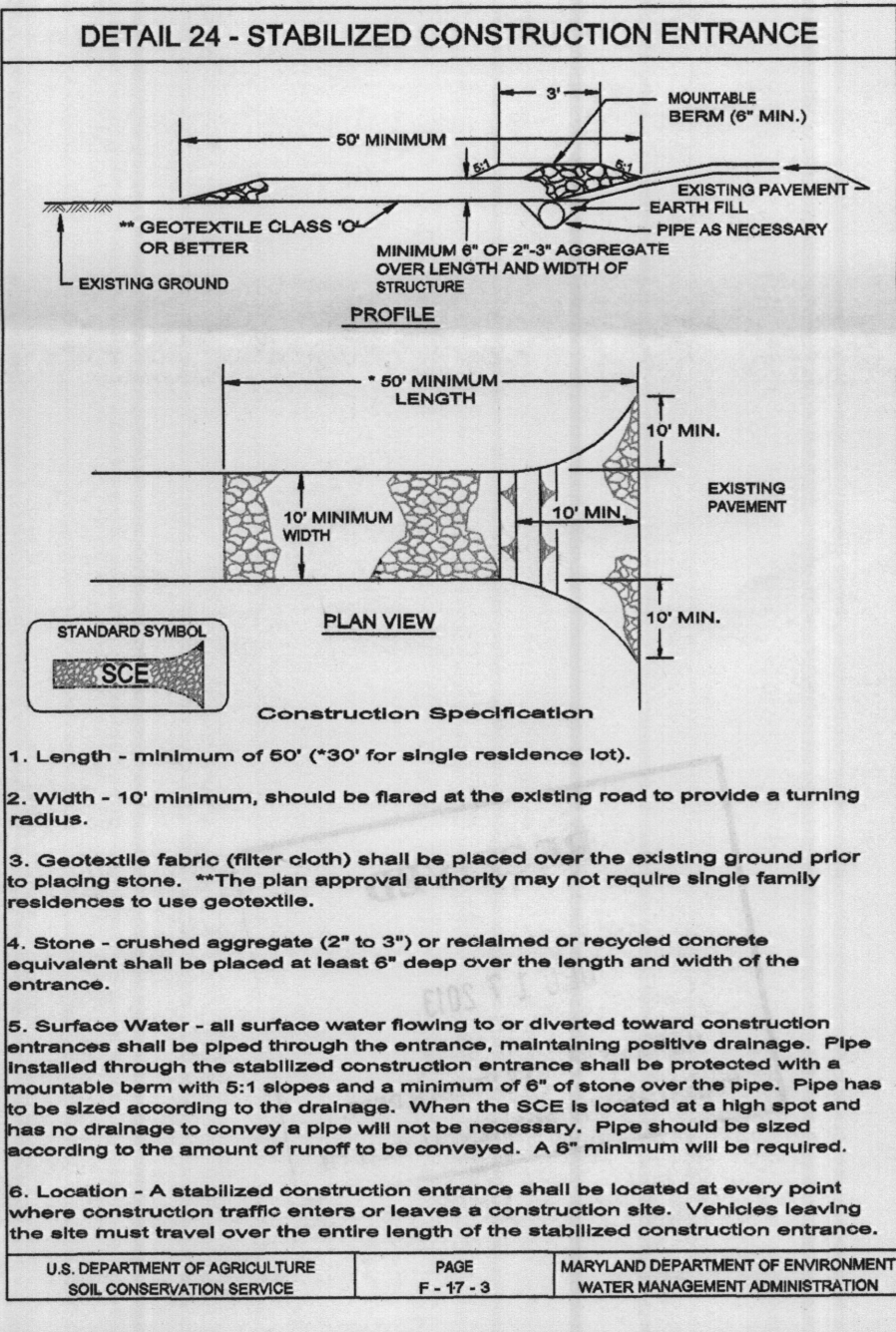
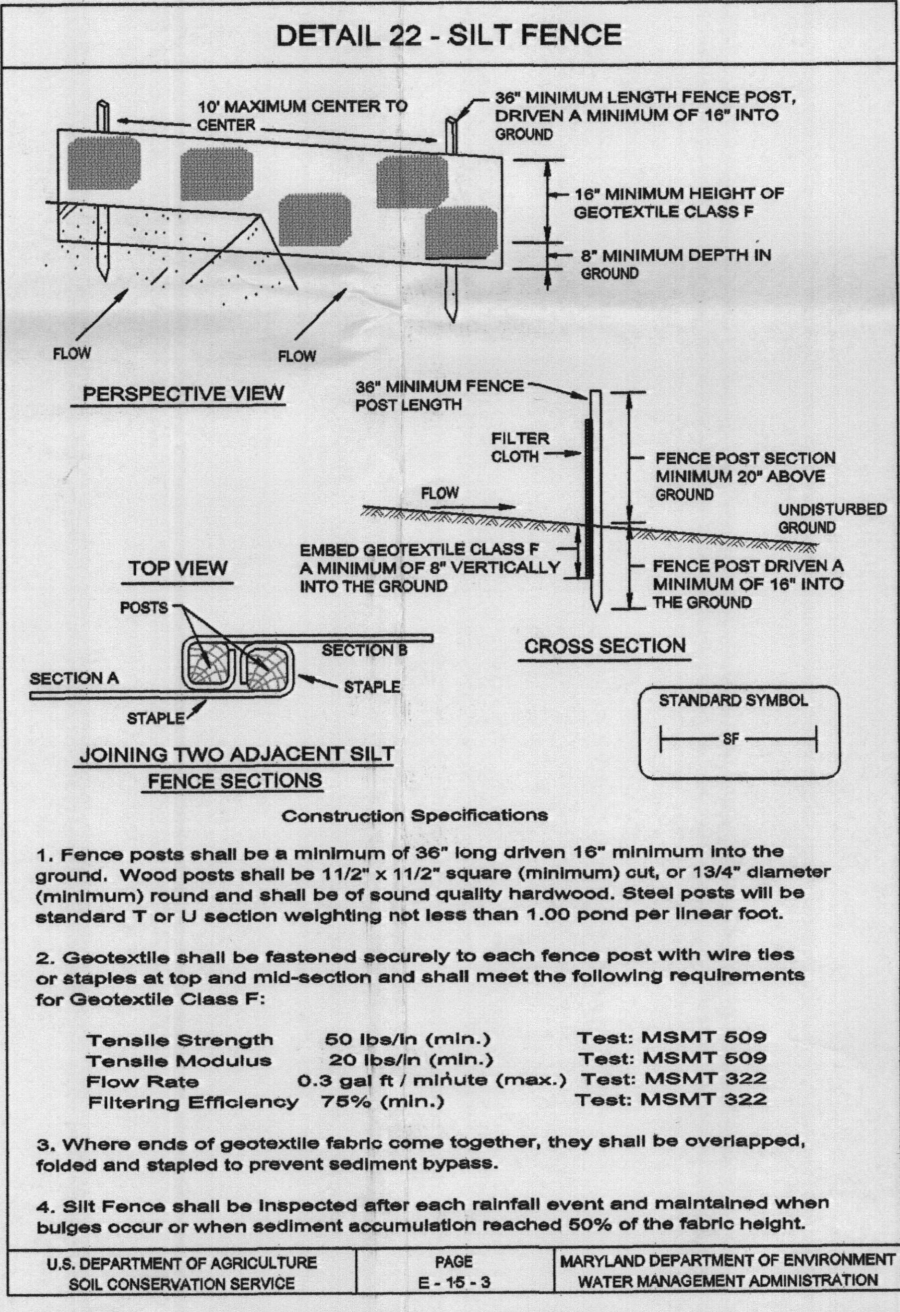
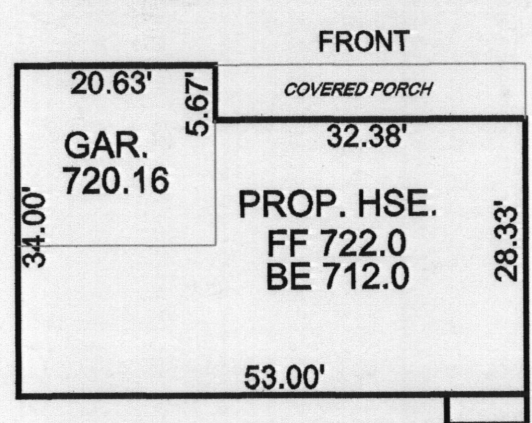
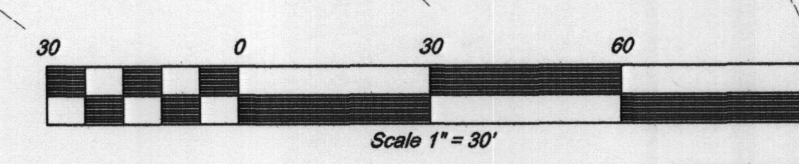
**HEALTH DEPARTMENT NOTES**

1. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH AND AREA REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
2. THE AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF 10,000 SQ-FT. REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENTS.
3. EXISTING WELLS HO-85-2380, HO-85-2382, HO-85-2381, HO-85-2380, HO-0156, HO-95-1924 AND THE WELL WITH NO TAG ON ADJOINING PROPERTY 17270 HARDY RD. SHOWN HEREON HAVE BEEN FIELD LOCATED AND SHOWN ACCURATELY.
4. THERE ARE NO EXISTING WELLS AND SEPTIC SYSTEMS WITHIN 100 FT OF THE LOT LINES SHOWN HEREON UNLESS NOTED OTHERWISE.  
 ⊕ DENOTES "PASSED" PERCOLATION TEST  
 ⊕ DENOTES "FAILED" PERCOLATION TEST
5. THE NEAREST WATER INTAKE STRUCTURE IS FOUR MILES AWAY.

**SEPTIC SYSTEM DATA**

INV. AT HOUSE	711.75
SEPTIC TANK (1500 gal)	
EX. GRADE	715.0
FIN. GRADE	714.5
INV. IN	711.55
INV. OUT	711.39
DISTRIBUTION BOX	
EX. GRADE	715.00
FIN. GRADE	715.00
INV. IN	710.89
INV. OUT	710.73

THE NUMBER OF TRENCHES, THEIR LENGTH, DEPTH AND ORIENTATION TO BE DETERMINED BY HEALTH DEPARTMENT.  
 \*\*\*SEPTIC SYSTEM MAY REQUIRE PUMP



**OWNER/DEVELOPER:**  
 CUMBERLAND DEVELOPMENT CORP.  
 C/O CURTIS CUMBERLAND  
 16391 MULLINX RD  
 WOODBINE MD 21797

**NON-SDP RESIDENTIAL PLOT PLAN**  
 LOT 27  
 "SPRING HOLLOW"  
 #17287 HARDY ROAD  
 SINGLE FAMILY DETACHED  
 PLAT M.D.R. #13773  
 ZONED RC-DEO  
 FOURTH ELECTION DISTRICT TAX MAP #07, GRID 08, PARCEL 628  
 HOWARD COUNTY, MARYLAND  
 Prepared by:  
**CHARLES R. CROCKEN AND ASSOCIATES, INC.**  
 902 LEE AVE.  
 SYKESVILLE, MARYLAND 21157  
 Tel. (410) 549-2708  
 Fax. (410) 549-9063  
 SCALE: 1"=30' DATE: 11/07/13 SHEET 1 OF 1

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 7863 EXPIRATION DATE 4-22-2015  
 Charles R. Crocken 11-19-13 DATE  
 CHARLES R. CROCKEN, PE, MD, LICENSE REG. NO. 7863

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH OFFICER DATE