



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 13735 OSTER FARM RD  
 City: W. FRIENDSHIP State: MD Zip Code: 21794  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 4  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: RESIDENTIAL  
 Proposed Use: 3 SEASON ROOM UNCONDITIONAL  
 Estimated Construction Cost: \$ 22,000.00  
 Description of Work: PATIO ENCLOSURE  
18' 11 3/4" x 12' 9 1/8"

Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth _____ Width _____
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>247 SF 19' x 11'</u> 2 <sup>nd</sup> floor: <u>209 SF 19' x 11'</u>
Area of construction (sq. ft.):	Basement:
Use group:	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: GARY & ELIZABETH NORCUTT  
 Address: 13735 OSTER FARM RD.  
 City: W. FRIENDSHIP State: MD Zip Code: 21794  
 Phone: 410 489 9006 Fax: \_\_\_\_\_  
 Email: GORELY40 @ AOL.COM

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Contractor Company: TOTAL REMODELING SYSTEMS  
 Contact Person: JOHN CAMPBELL  
 Address: 3113 VALLEY AVE SUITE 100  
 City: WINCHESTER State: VA Zip Code: 22601  
 License No.: MHC 129338  
 Phone: 540 678 3200 Fax: 540 678 1975  
 Email: PRODUCTION @ TOTALREMODELING SYSTEMS.COM

Engineer/Architect Company: EMC 2 DESIGN INC.  
 Responsible Design Prof.: LAURENCE FISCHER  
 Address: 9656 OSPREY LANDING DR  
 City: ORLANDO State: FL Zip Code: \_\_\_\_\_  
 Phone: 407 482 6841 Fax: \_\_\_\_\_  
 Email: LAURENCE @ EMC2.COM

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature \_\_\_\_\_ Print Name \_\_\_\_\_  
 Email Address \_\_\_\_\_ Date \_\_\_\_\_  
 Title/Company \_\_\_\_\_

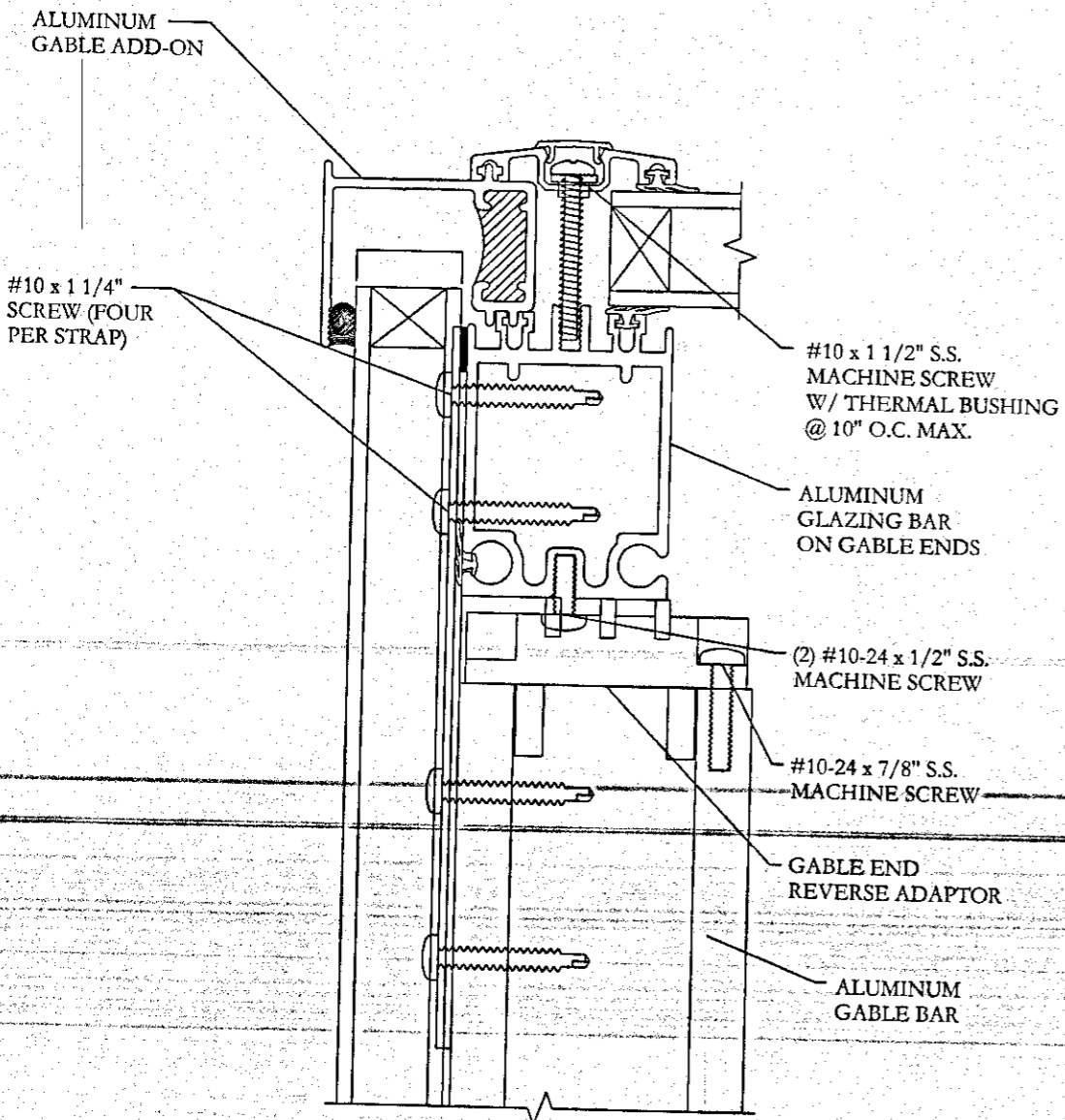
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10/5/14</u>	<u>H. OSWALD</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#



**A**  
7  
GABLE END DETAIL  
SCALE: 6" = 1'-0"

(3) 1-3/4 X 11-1/4" LVL HEADER TO SPAN FULL WIDTH OF ROOM

EXTRUDED SILL

(2) 3/8 X 3" LAG BOLTS AT EACH END AT 16" O.C. BETWEEN

(2) 3/8 X 3" LAG BOLTS AT EACH END AT 16" O.C. BETWEEN

ALUMINUM CLOSED SILL

DECK DETAILS SEE PAGE 2A

**B**  
7  
GLASS KICK - WINDOW SECTION

EMC2 STRUCTURAL DESIGNING  
615 HONOLULU DR  
ORLANDO, FL 32832  
OFFICE: 77-889-3822  
WWW.EMC2SD.COM

PROFESSIONAL ENGINEER:  
LAWRENCE FISCHER  
9656 OSPREY LANDING DR.  
ORLANDO, FL. 32832  
407.482.6841

STATE OF MARYLAND  
LAWRENCE FISCHER  
No. 17447  
PROFESSIONAL ENGINEER  
10/5/14

PATIO ENCLOSURE FOR:  
NORGUTT RESIDENCE  
ADDRESS: 13735 OSTER FARM RD.  
WEST FRIENDSHIP, MD. 21794

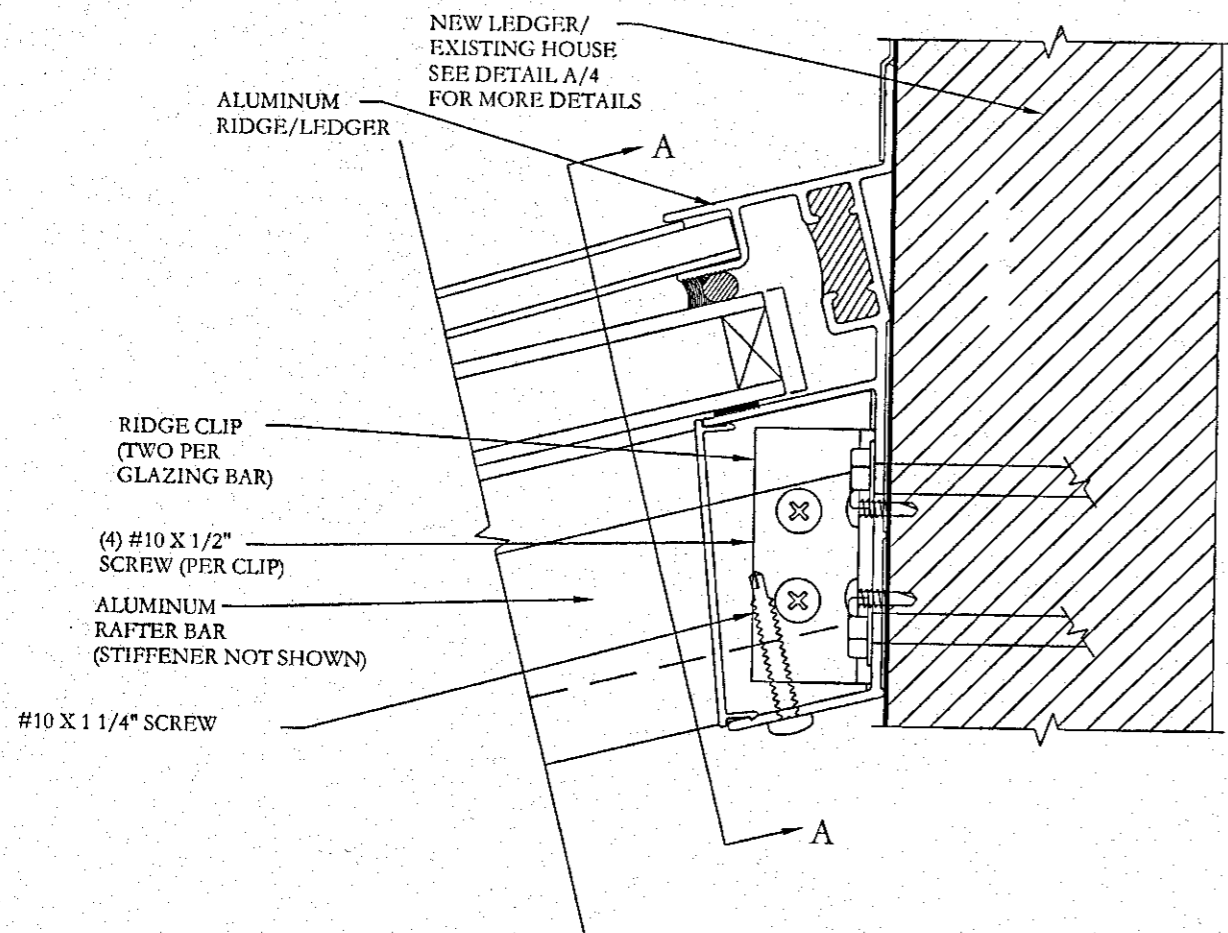
ORIGINAL DATE: 09-24-14  
SCALE: SEE DETAILS

REVISION: N/A  
REV. DATE: N/A

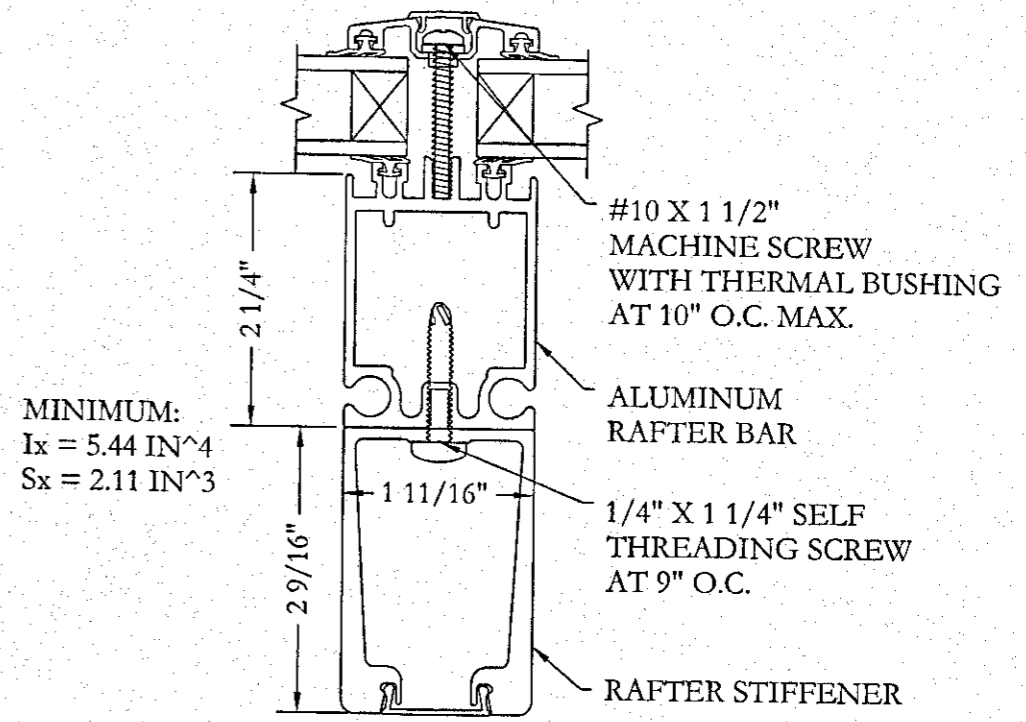
DRAWN BY: L. DUFFY  
CHECKED BY: L. FISCHER

PAGE: 7 OF 8

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17447, EXPIRATION DATE: 7-27-15

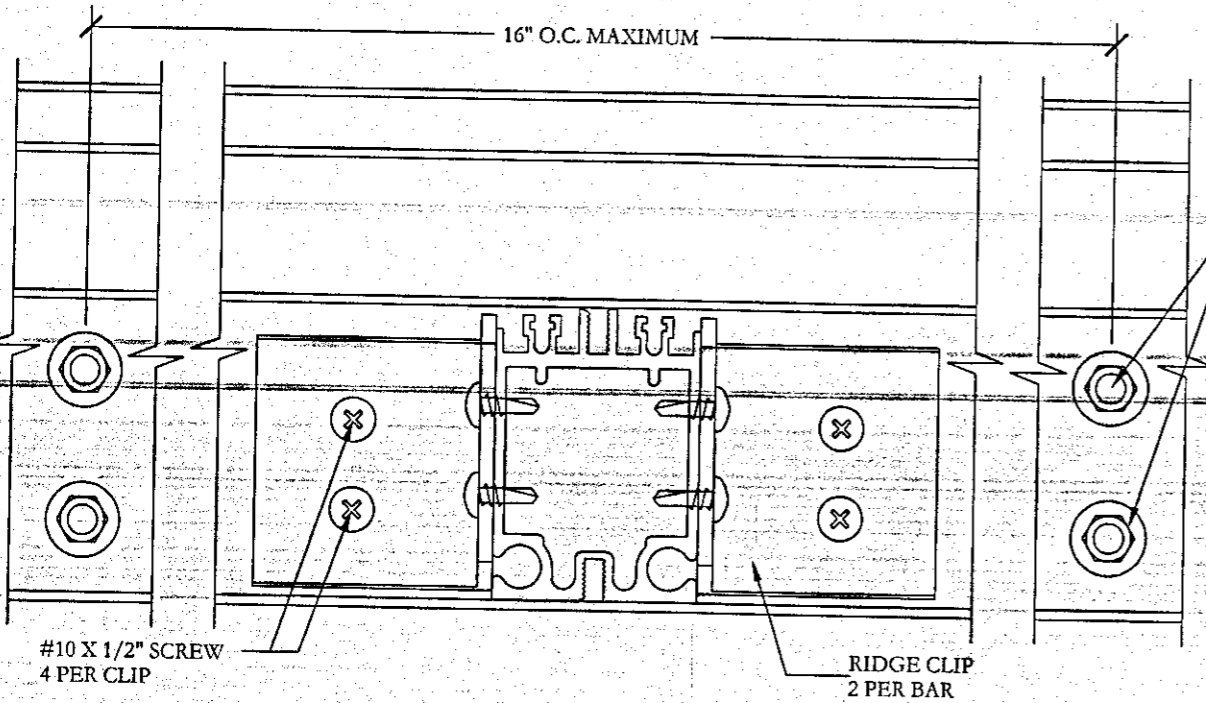


**B**  
6  
RIDGE DETAIL  
NTS



**A**  
6  
RAFTER BAR DETAIL  
NTS

MINIMUM:  
I<sub>x</sub> = 5.44 IN<sup>4</sup>  
S<sub>x</sub> = 2.11 IN<sup>3</sup>



**A**  
A  
SECTION 'A-A' DETAIL  
NTS

(2) 3/8" X 3-1/2"  
LAG SCREWS AT  
EACH CLIP INTO  
LEDGER/EXISTING  
WALL (4 TOTAL  
PER RAFTER)

**EMC2 STRUCTURAL DESIGN INC.**  
615 HONESTEAD DR  
LIBERTON, PA 15067  
OFFICE: 717-880-3622  
WWW.EMC2SDI.COM

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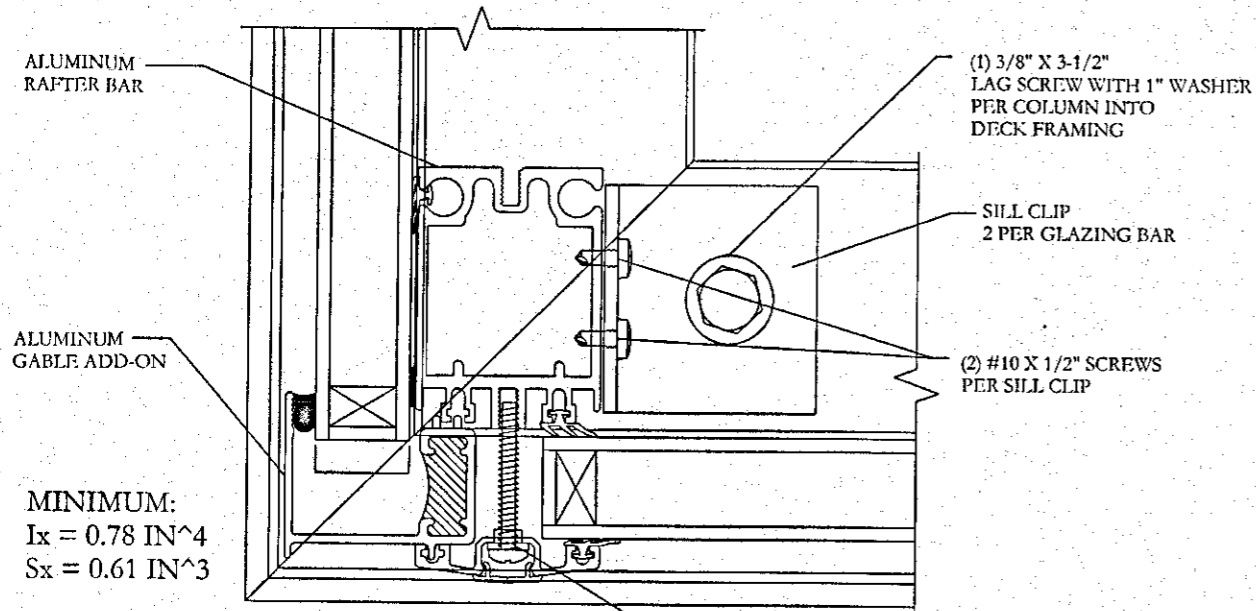
ORIGINAL DATE: 09-24-14  
REVISION: N/A  
REV. DATE: N/A

SCALE: SEE DETAILS

DRAWN BY: L. DUFFY  
CHECKED BY: L. FISCHER

PAGE: 6 OF 8

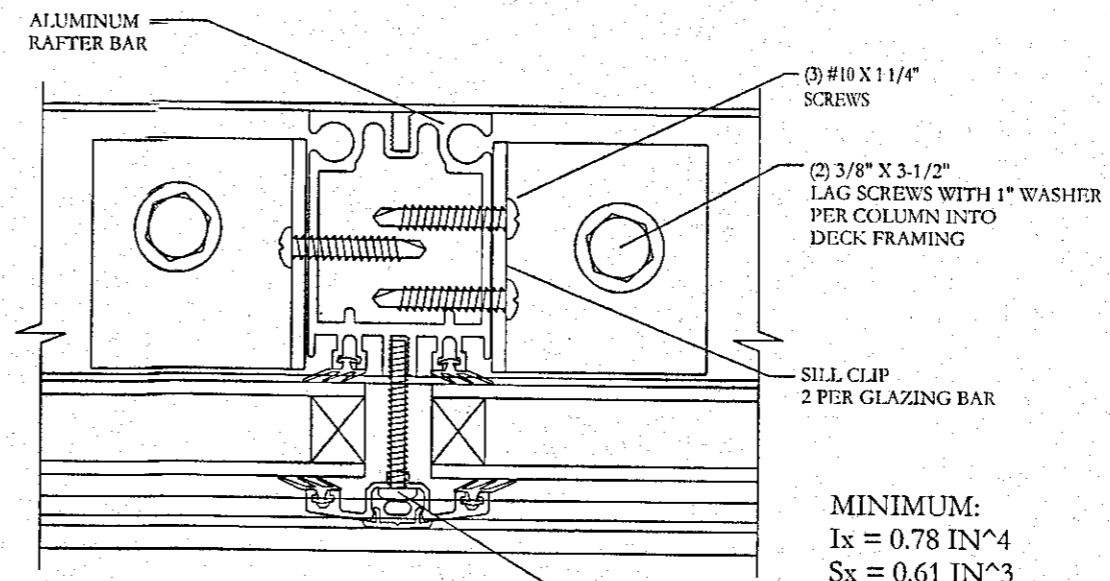
These plans are the property of EMC2 Structural Design, Inc. Any use or reproduction of these plans, in whole or in part, without the written permission from EMC2 Structural Design, Inc. is forbidden. Plans not valid without original engineer signature. Plans are not for use as "Generic" or "Master" Plans.



MINIMUM:  
 $I_x = 0.78 \text{ IN}^4$   
 $S_x = 0.61 \text{ IN}^3$

**A**  
 5  
 CORNER DETAIL  
 NTS

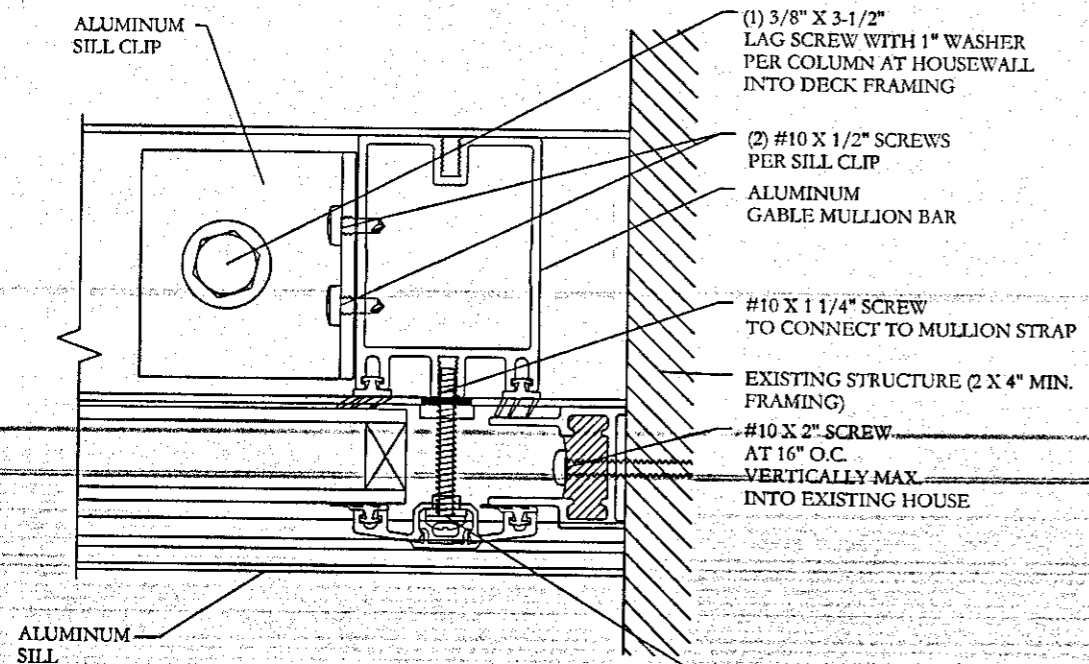
#10 X 1 1/2" MACHINE SCREW  
 WITH THERMAL BUSHING  
 AT 10" O.C. MAX.



MINIMUM:  
 $I_x = 0.78 \text{ IN}^4$   
 $S_x = 0.61 \text{ IN}^3$

**B**  
 5  
 FRONT WALL COLUMN  
 NTS

#10 X 1 1/2" MACHINE SCREW  
 WITH THERMAL BUSHING  
 AT 10" O.C. MAX.



ALUMINUM SILL

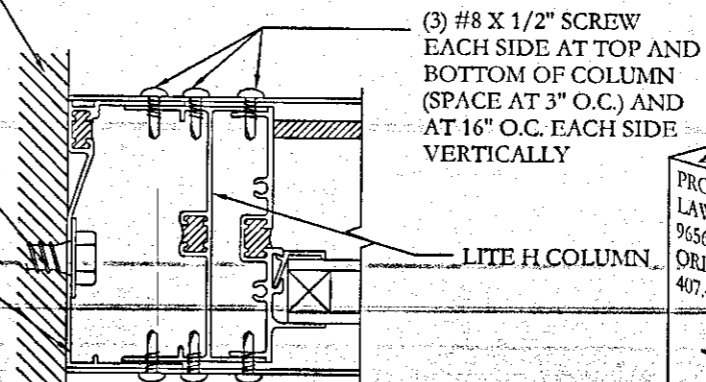
**C**  
 5  
 WALL BAR DETAIL  
 NTS

#10 X 1 1/2" MACHINE SCREW  
 WITH THERMAL BUSHING  
 AT 10" O.C. MAX.

OUTSIDE FACE OF  
 EXISTING STRUCTURE OR NEW  
 WOOD POST (2 X 4" MIN.  
 FRAMING)  
 3/8" X 3-1/2" INTO  
 EXISTING STRUCTURAL  
 FRAMING AT 16" O.C.  
 VERTICALLY (MAX.)

ALUMINUM SILL  
 PLACED VERTICALLY  
 AGAINST WALL

**D**  
 5  
 GABLE ATTACHMENT TO EXISTING STRUCTURE  
 NOT TO SCALE



LITE H COLUMN

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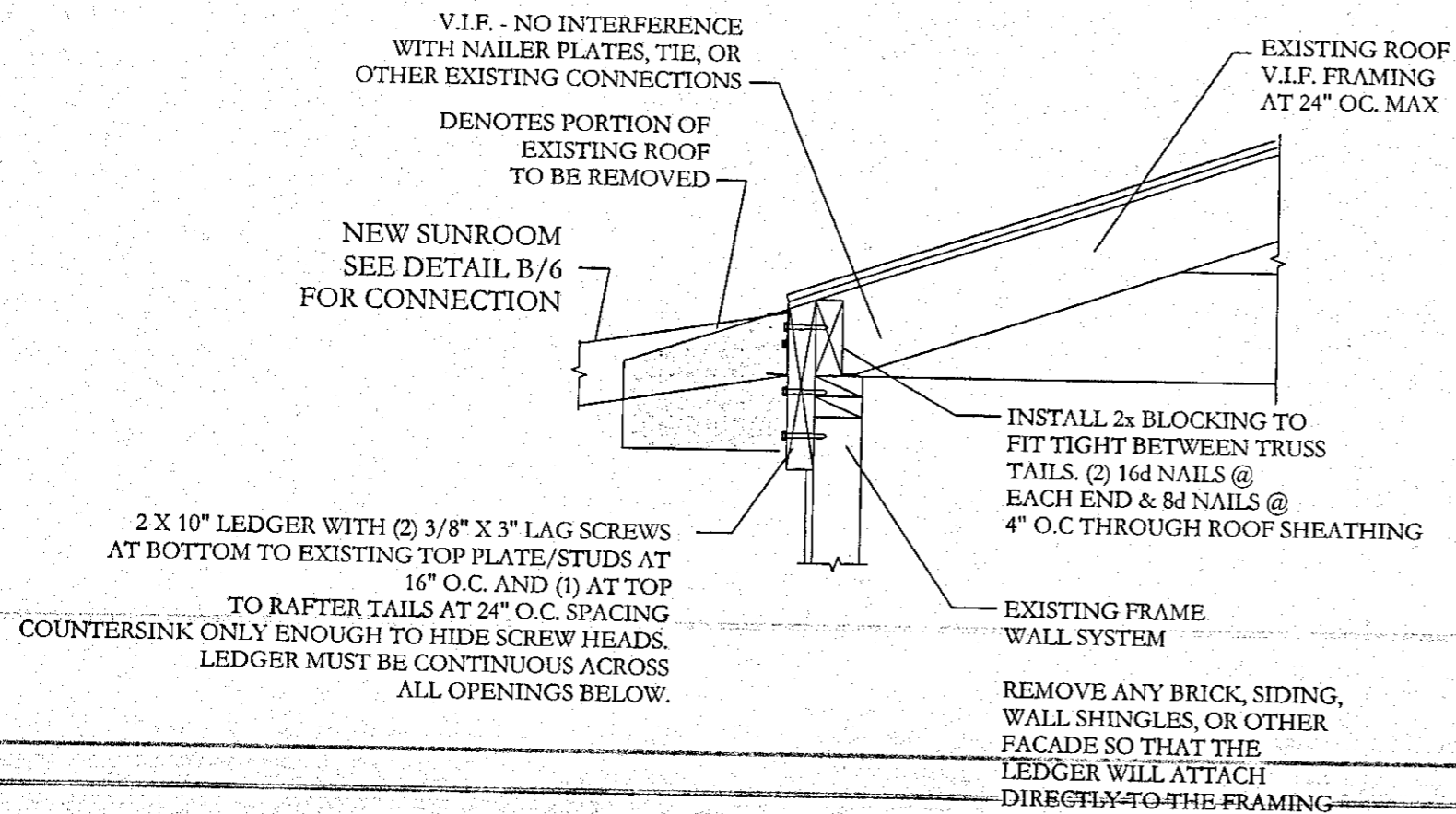
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 PAGE: 5 OF 8

REVISION: N/A  
 REV. DATE: N/A

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 CHECKED BY: FISCHER



V.I.F. - NO INTERFERENCE WITH NAILER PLATES, TIE, OR OTHER EXISTING CONNECTIONS

DENOTES PORTION OF EXISTING ROOF TO BE REMOVED

EXISTING ROOF V.I.F. FRAMING AT 24" O.C. MAX

NEW SUNROOM SEE DETAIL B/6 FOR CONNECTION

INSTALL 2x BLOCKING TO FIT TIGHT BETWEEN TRUSS TAILS. (2) 16d NAILS @ EACH END & 8d NAILS @ 4" O.C THROUGH ROOF SHEATHING

2 X 10" LEDGER WITH (2) 3/8" X 3" LAG SCREWS AT BOTTOM TO EXISTING TOP PLATE/STUDS AT 16" O.C. AND (1) AT TOP TO RAFTER TAILS AT 24" O.C. SPACING COUNTERSINK ONLY ENOUGH TO HIDE SCREW HEADS. LEDGER MUST BE CONTINUOUS ACROSS ALL OPENINGS BELOW.

EXISTING FRAME WALL SYSTEM

REMOVE ANY BRICK, SIDING, WALL SHINGLES, OR OTHER FACADE SO THAT THE LEDGER WILL ATTACH DIRECTLY TO THE FRAMING

**A**  
4 TYP STRAIGHT EAVE CONNECTION DETAIL AT EXIST STRUCTURE  
NOT TO SCALE

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 615 HUNTERSTAD DR  
 OFFICE: LANHAM, PA 17632  
 PHONE: 717-989-3629  
 WWW.EMC2SDI.COM

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PAGE: 4 OF 8

**NOTES:**

1.-ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.

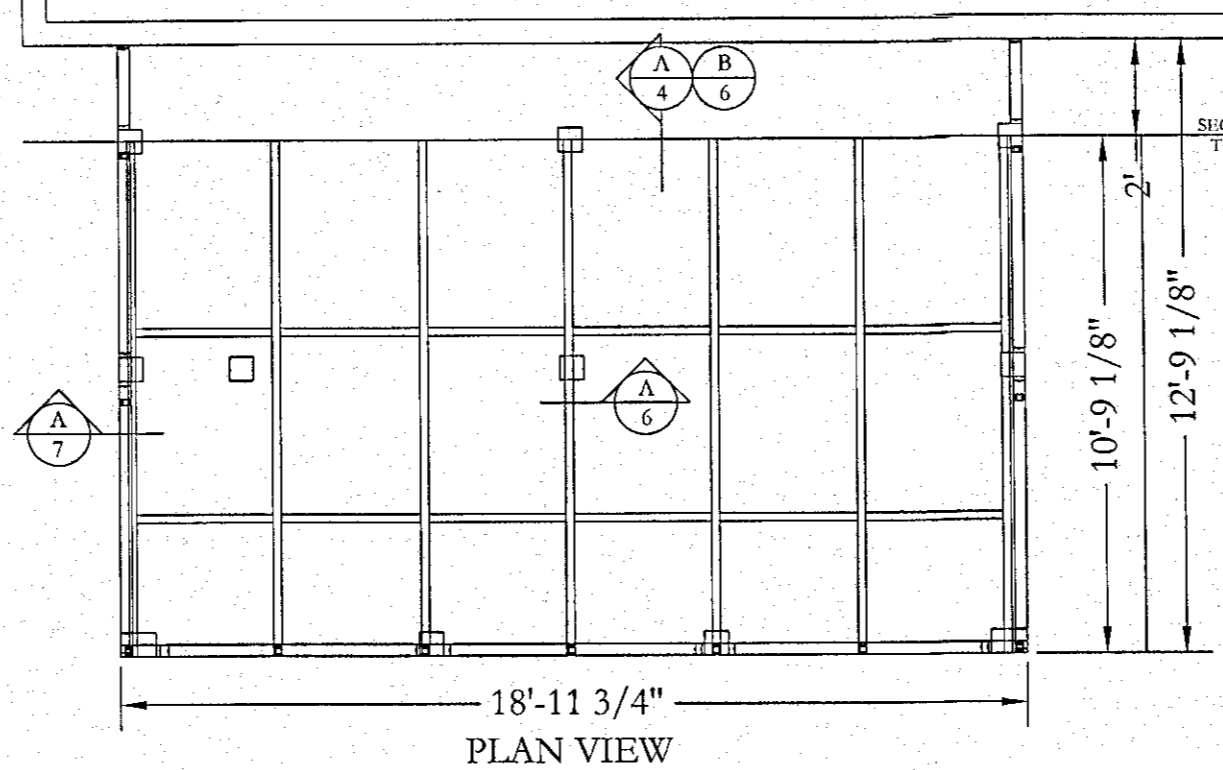
2.-ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.

**SCALE:**  
1" = 4'

EXISTING EGRESS TO BE VERIFIED IN FIELD

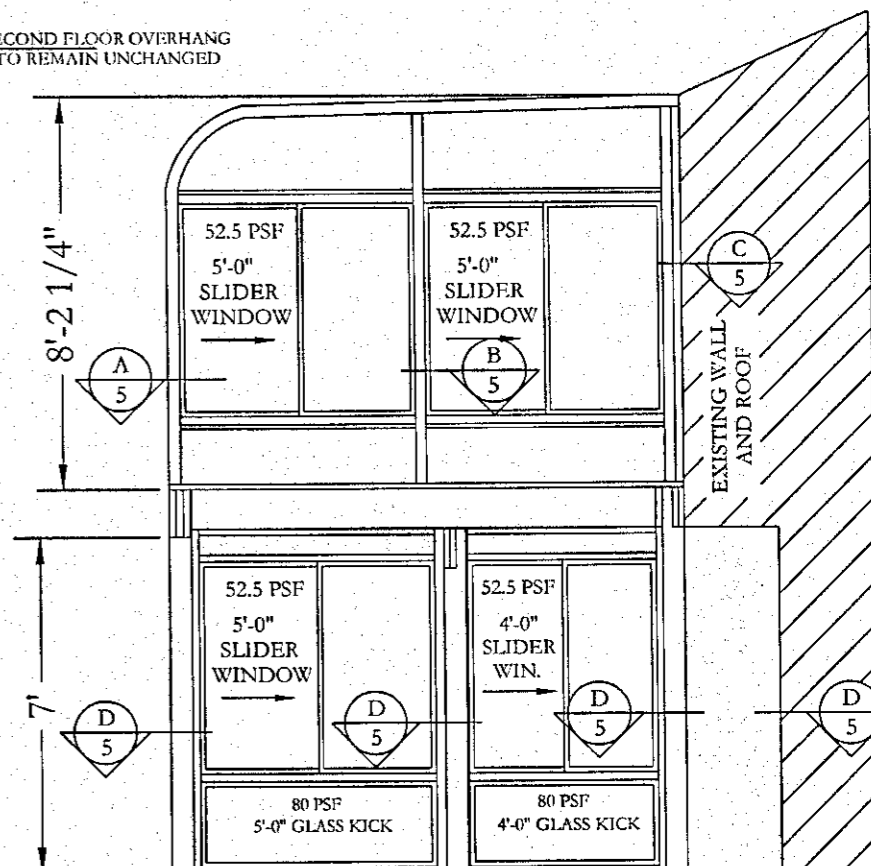
EXISTING HOUSE AND OPENINGS TO REMAIN

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

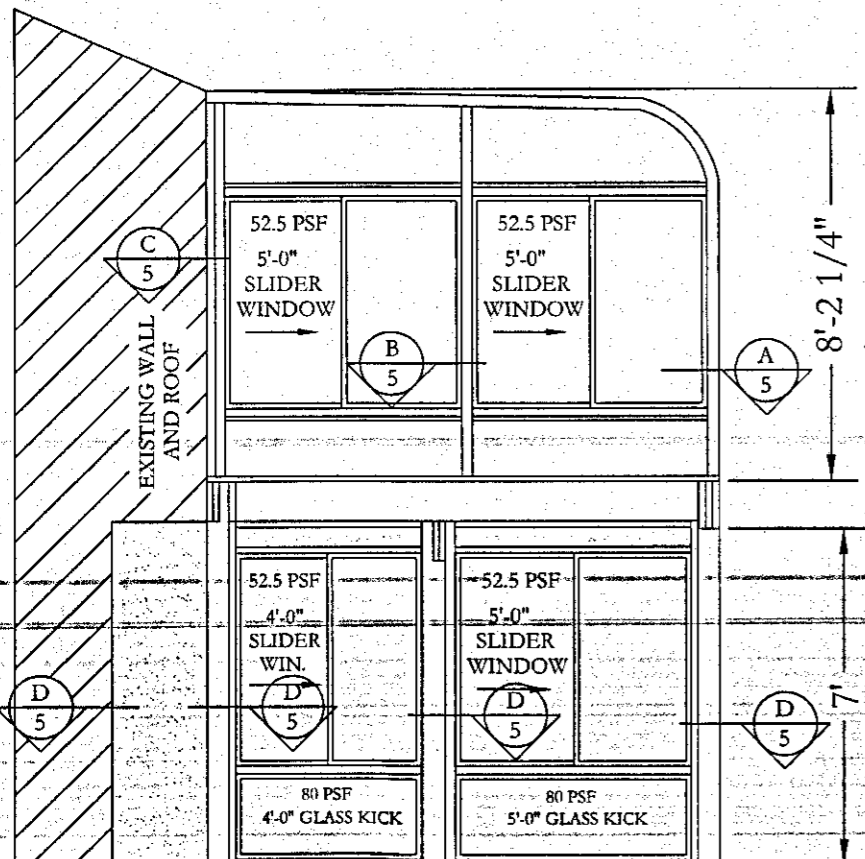


PLAN VIEW

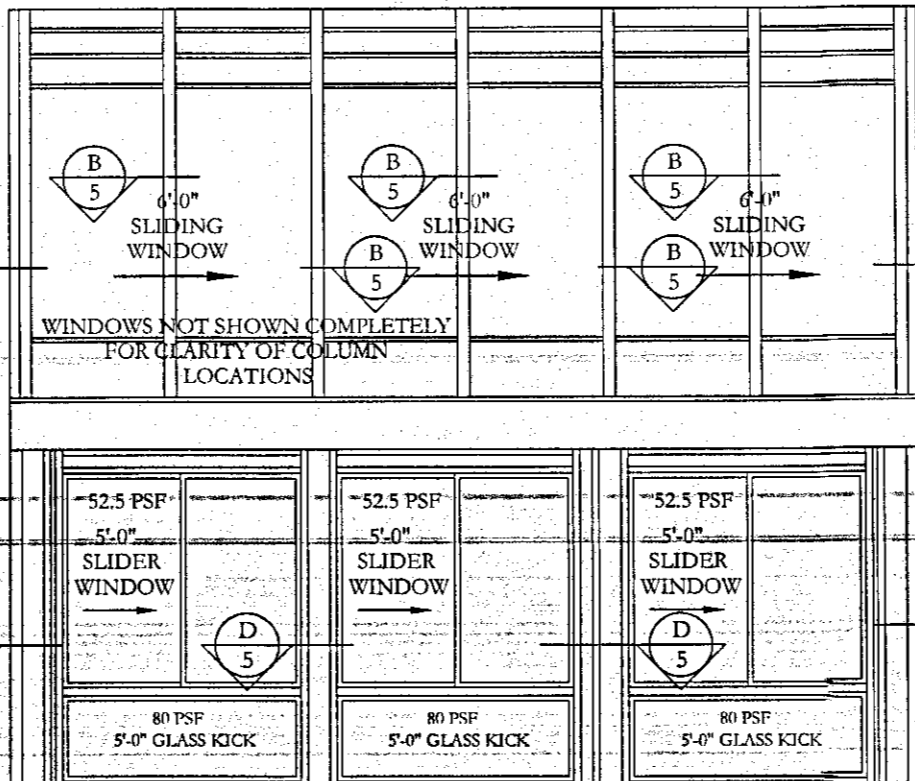
SECOND FLOOR OVERHANG TO REMAIN UNCHANGED



RIGHT GABLE ELEVATION



LEFT GABLE ELEVATION



FRONT ELEVATION

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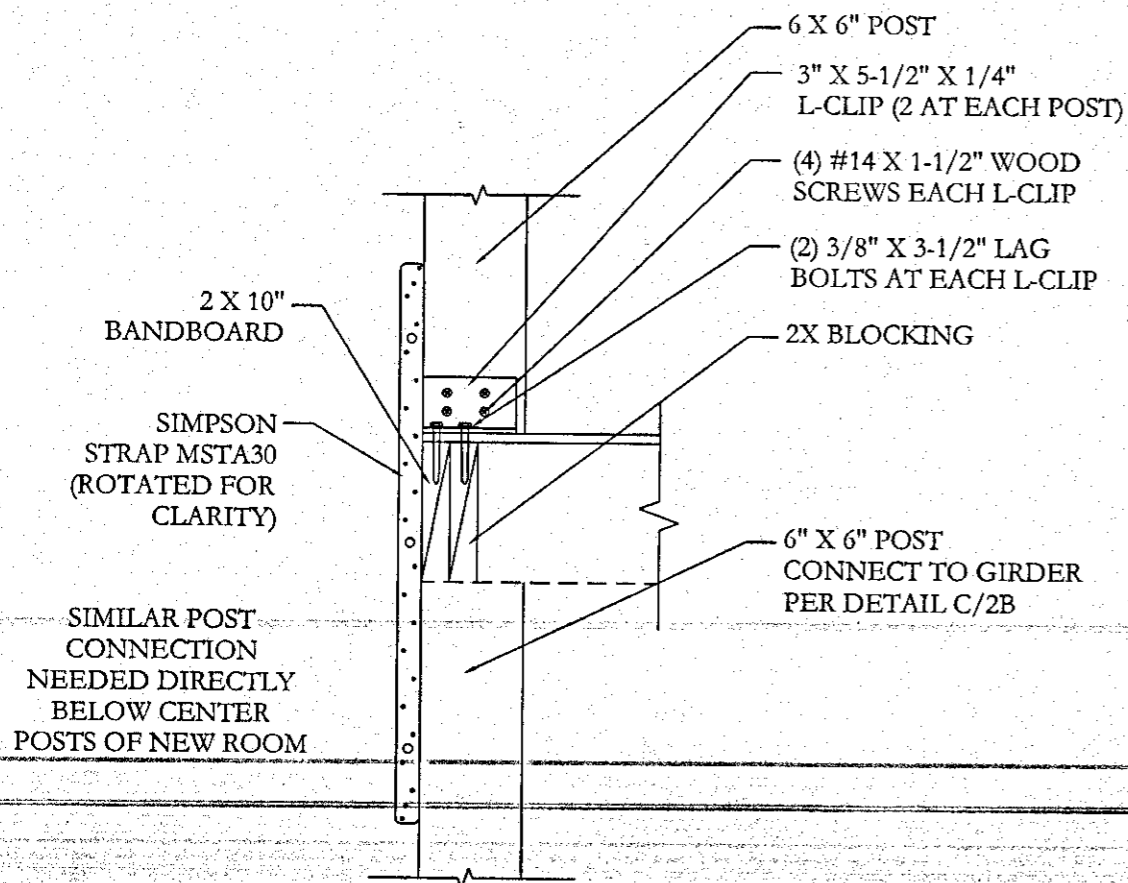
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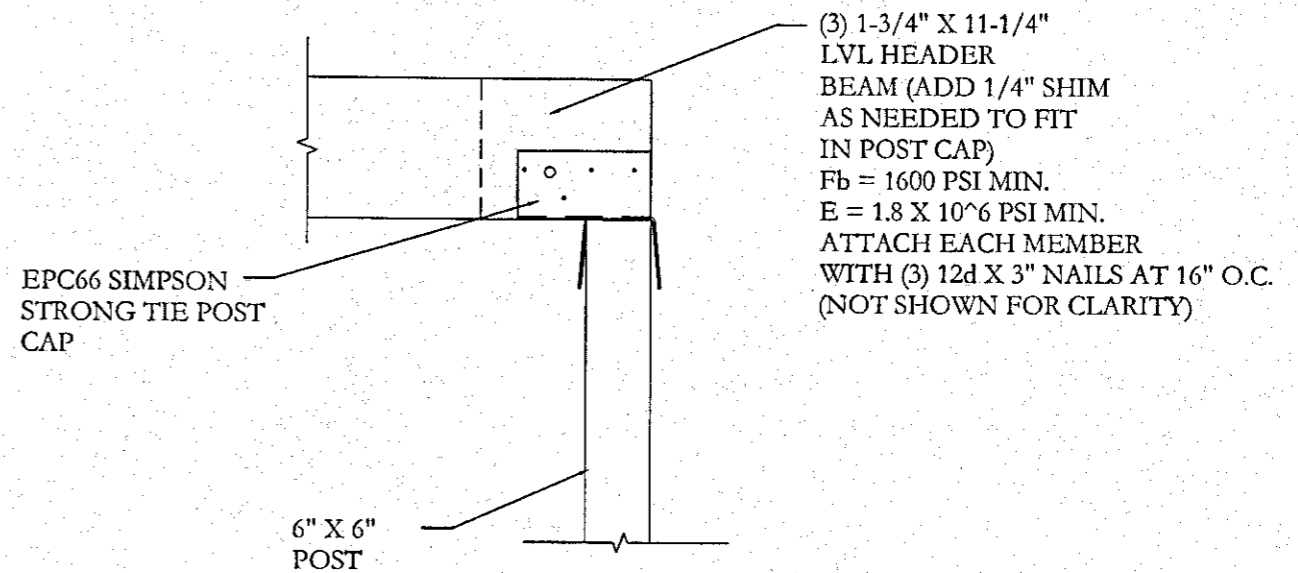
SCALE: SEE DETAILS

PAGE: 3 OF 8

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**A**  
2C  
**POST TO POST**  
NOT TO SCALE



**B**  
2C  
**HEADER TO POST**  
NOT TO SCALE

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ORLANDO, FL 32832  
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LAWRENCE FISCHER  
9656 OSPREY LANDING DR.  
ORLANDO, FL 32832  
407.482.6841

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10/5/14

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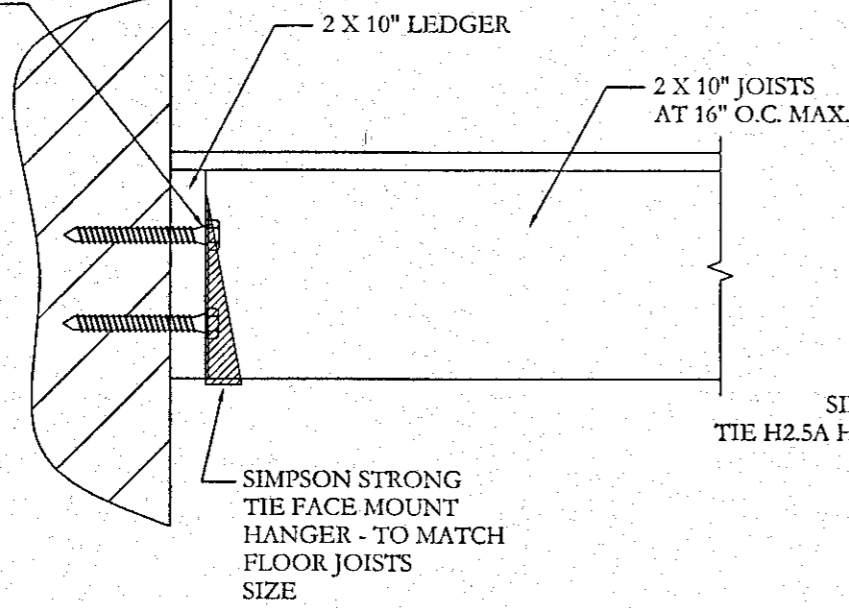
PAGE: 2C OF 8

DRAWN BY: L. DUFFY  
CHECKED BY: L. FISCHER

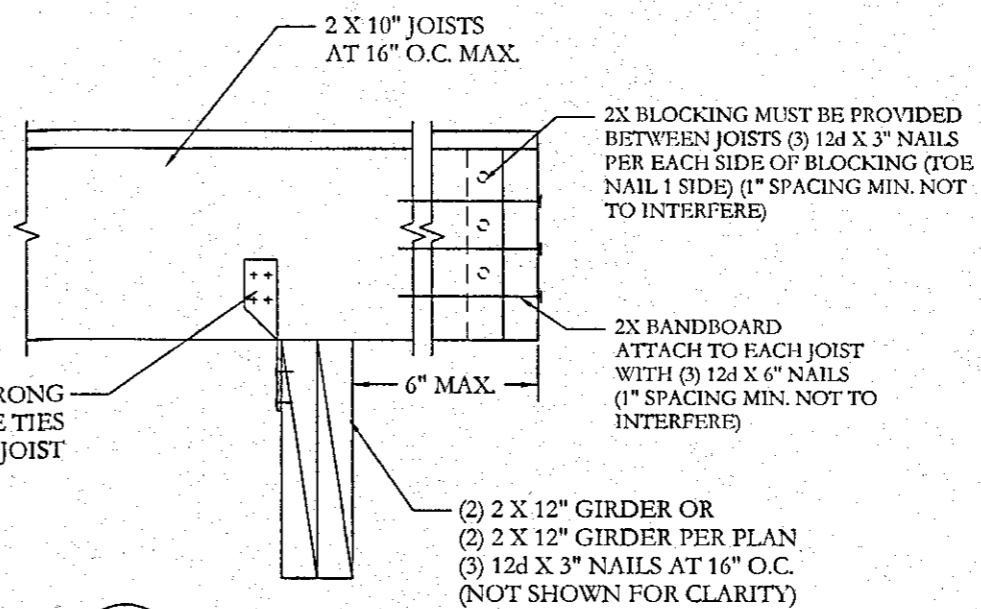
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(1) 1/2" X 5" LAG BOLTS INTO EXISTING STRUCTURE AT 16" O.C. MAX. STAGGERED  
 (2) 1/2" X 5" MIN. LAG BOLTS INTO EXISTING STRUCTURAL FRAMING AT LOCATIONS WHERE ROOM ADDITION WALLS MEET THE EXISTING HOUSE WALL

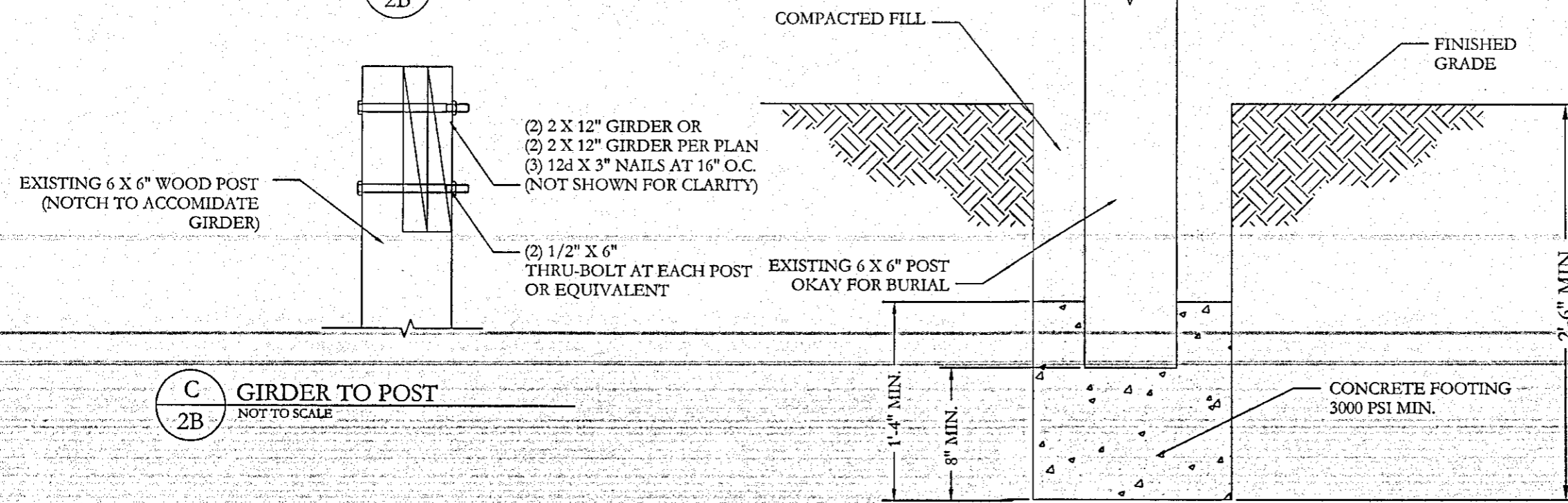
DOUBLE RIM JOIST TO ATTACH TO LEDGER WITH SIMPSON STRONG TIE FACE MOUNT HANGER WITH CONCEALED FLANGES TO MATCH JOIST SIZE (HUC210-2 OR EQUIVALENT) REPLACE NAILS WITH #8 X 3" WOOD SCREWS FOR POSITIVE CONNECTION.



**A** JOIST TO LEDGER  
 2B NOT TO SCALE



**B** JOIST TO GIRDER  
 2B NOT TO SCALE



**C** GIRDER TO POST  
 2B NOT TO SCALE

**D** POST TO FOOTING  
 2B NOT TO SCALE

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 615 HOMESTEAD DR  
 LEBANON, PA 17042  
 OFFICE: 717.880.3622  
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 ORLANDO, FL 32837  
 407.482.6841

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 REV. DATE: N/A

DRAWN BY: L. DUFFY  
 CHECKED BY: L. FISCHER

PAGE: **2B** OF 8

REAR FOOTING DEPTHS (WITHIN 5' OF THE ADJACENT HOUSE WALL) MUST BEAR AT THE SAME ELEVATION AS THE EXISTING HOUSE FOUNDATION

EXISTING HOUSE AND OPENINGS TO REMAIN

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

DECK SHALL BE BUILT AT THRESHOLD APPROXIMATELY 24" ABOVE GRADE

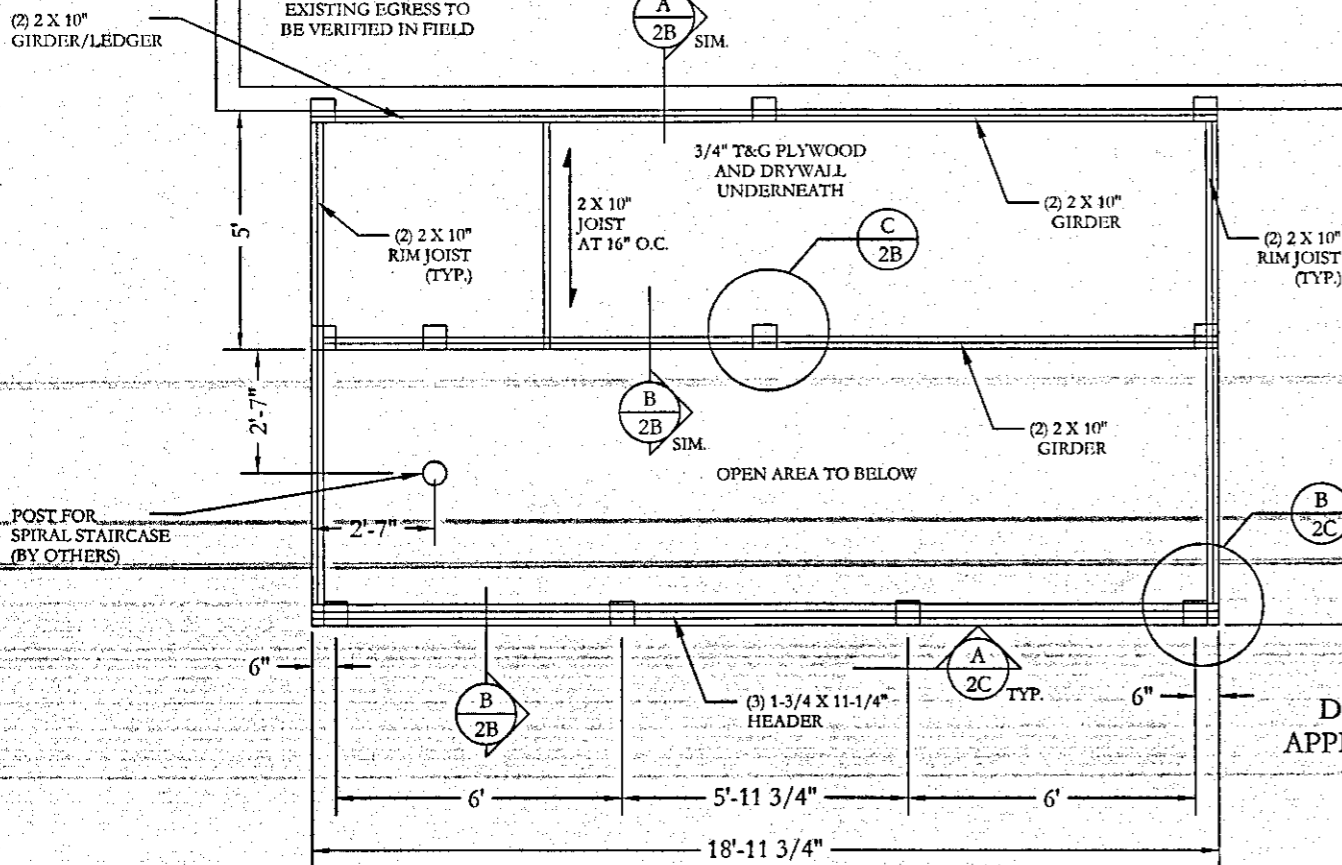
SCALE:  
1" = 4'

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

EXISTING HOUSE AND OPENINGS TO REMAIN (6' MAX)  
SF

FOOTING FOR SPIRAL STAIRCASE (STAIRCASE BY OTHERS)

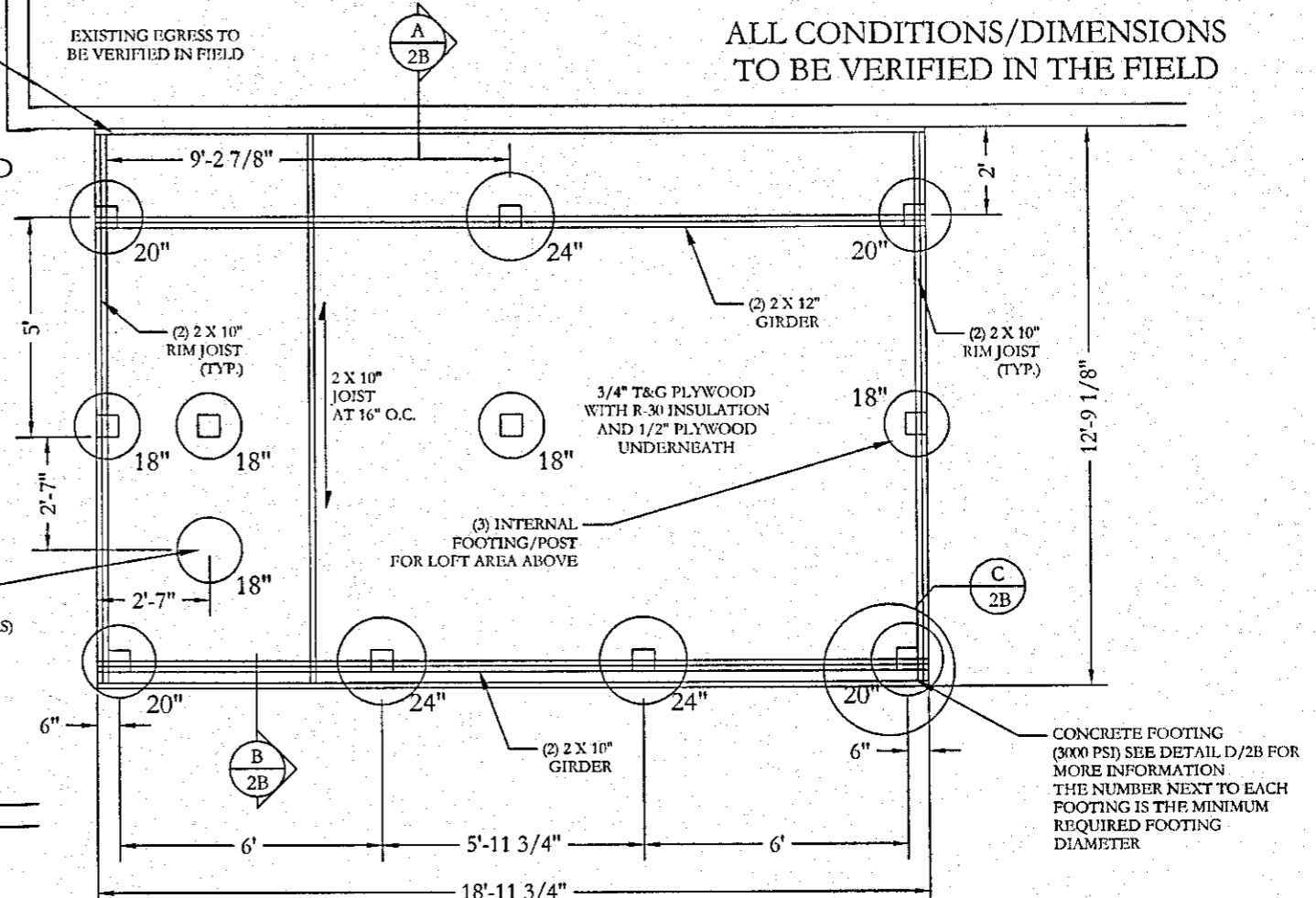
DECK/FOUNDATION LAYOUT - LOWER FLOOR



DECK LAYOUT - UPPER FLOOR

SCALE:  
1" = 4'

DECK SHALL BE BUILT AT THRESHOLD APPROXIMATELY 96" ABOVE LOWER FLOOR



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**LAWRENCE FISCHER**  
 PROFESSIONAL ENGINEER  
 9656 OSPREY LANDING  
 ORLANDO, FL 32817  
 407.482.6841

**STATE OF MARYLAND**  
 LAWRENCE FISCHER  
 PROFESSIONAL ENGINEER  
 NO. 17447

**PATIO ENCLOSURE FOR:  
 NORCUTT RESIDENCE**  
 ADDRESS: 13735 OSTER FARM RD.  
 WEST FRIENDSHIP, MD-21794

ORIGINAL DATE: 09-24-14  
 SCALE: SEE DETAILS  
 REVISION: N/A  
 REV. DATE: N/A

10/5/14  
 PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 17447, EXPIRATION DATE: 7-27-15

DRAWN BY: L. DUFFY  
 CHECKED BY: L. FISCHER

PAGE: 2A OF 8

# GLASS ROOF CURVED EAVE LOFT WITH WALL ENCLOSURE SECTION PATIO ENCLOSURE BELOW (UNCONDITIONED)

## GENERAL NOTES

### A. WOOD:

- ALL LUMBER ON OR BELOW GRADE, WITHIN 18" OF FINISHED GRADE SHALL, OR DIRECTLY BEARING ON CONCRETE OR MASONRY SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE
- ALL LUMBER ABOVE GRADE (NON-DECKING) SHALL BE SOUTHERN YELLOW PINE #2 GRADE
- ALL FRAMING LUMBER SHALL BE HEM-FIR #2 GRADE OR EQUIVALENT
- WOOD STRUCTURAL PANELS SHALL BE 1/2" MIN. THICKNESS, EXPOSURE 1 STRUCTURAL SHEATHING
- IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH PRESSURE TREATED WOOD, PROVIDE DIELECTRIC SEPARATION

WARNING: DRILLING, SAWING, SANDING OR MACHINING WOOD PRODUCTS GENERATES WOOD DUST, A SUBSTANCE KNOWN TO CAUSE CANCER. AVOID INHALING WOOD DUST, OR USE A DUST MASK OR OTHER SAFEGUARDS FOR PERSONAL PROTECTION.

### DECKING:

- ALL EXTERIOR DECKING SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE
- ALL INTERIOR DECKING SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE OR HEM-FIR #2 GRADE OR EQUIVALENT
- FLOOR LOAD: 10 PSF DEAD LOAD, 40 PSF LIVE LOAD
- DEFLECTION: L/360
- FLOOR SHEATHING SHALL CONSIST OF A MINIMUM OF 1 LAYER OF 3/4" CDX EXTERIOR PLYWOOD
- FASTEN PLYWOOD TO FRAMING WITH 8d GALVANIZED NAILS AT 6" O.C. ALONG PANEL EDGE AND 12" ON INTERMEDIATE FRAMING
- SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF

### B. CONCRETE:

- ALL CONCRETE GRADE BEAMS AND FOOTING SHALL BE 3000 PSI MIN. 12"x24" DIMENSIONS
- ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 4" MIN. THICKNESS
- FIBERMESH (3/4" PER CUBIC YARD MIN.) MEETING APPROPRIATE ACI AND ASTM REQUIREMENTS MAY BE USED IN LIEU OF WELDED WIRE MESH
- ALL SLABS ON GRADE SHALL BE 4" THICK WITH FIBERMESH ON 6 MIL POLYETHYLENE VAPOR BARRIER
- ALL REINFORCING SHALL BE GRADE 60 (50 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40
- ALL OVERPOUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 2" MIN. THICKNESS
- SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF

### C. ALUMINUM

- ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER EXCEPT AS NOTED BELOW:  
GREAT ROOM 12 RIDGE BEAM.....6063-T6  
CORNER COLUMN.....6063-T6  
H-COLUMN.....6105-T5
- ALL STRUCTURAL ALUMINUM WORK CONFORMS TO "PART 1-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OR "PART 1-B - SPECIFICATIONS FOR ALUMINUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN" OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2000
- IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION
- ALL ALUMINUM MUST NOT HAVE DIRECT CONTACT WITH CONCRETE.
- ALL FLASHING SHALL BE CORROSIVE RESISTANT IN ALL AREAS

### D. GLASS

- GLASS UNITS CONSISTS OF TWO PANES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PANES WITH AN ARGON FILL
- GLASS CONFORMS TO ASTM E1300.
- ALL CLEAR ARGON ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES:  
ASHRAE WINTER U VALUE = .25  
ASHRAE WINTER R-VALUE = 4.0  
\*AS PER FOUR SEASONS SUNROOMS GLASS SPECIFICATIONS

### ROOF AND SOLID WALL PANELS

- ALUMINUM PANEL SKIN IS ALLOY 3105-H14/H25 AND IS 0.024" THICK MIN.
- PANEL CORE FOAM IS PERFORMED EXPANDED POLYSTYRENE BOARD (EPS), WITH A NOMINAL DENSITY OF 1.5 POUNDS PER CUBIC FOOT UNLESS OTHERWISE NOTED
- PANEL COMPONENTS ARE BONDED TOGETHER BY MORAD M-640 SERIES
- THE 4" THICK, 0.024" ALUMINUM SKIN, 1.5PCF FOAM DENSITY PANELS MEET THE CONDITIONS OF ACCEPTANCE COMPLYING WITH UL1715.
- PANELS HAVE THE FOLLOWING MINIMUM PROPERTIES:  
3" (1.0 PCF FOAM DENSITY)      3" (1.5 PCF FOAM DENSITY)  
U-VALUE = 0.07                      U-VALUE = 0.07  
R-VALUE = 13.4                        R-VALUE = 14.5

### E. SEALANT

- ALL SEALANT CONFORMS TO TT-S-001543-A, TT-S-002306, ASTM C-820 TYPE S, GRADE NS, CLASS 25.

### F. GASKETS

- ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.

## CLIMATIC AND GEPGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	
			WEATHERING	FROST LINE DEPTH	TERMITES						DECAY
30 PSF	115 B	B	SEVERE	36"	MOD. TO HEAVY	SLIGHT TO MOD.	13	YES	YES	300	55

### G. FASTENERS

- ALL LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD
- HEX BOLTS HAS BE ASTM A325, PLATED WITH STANDARD FLAT WASHERS AND NUTS
- ALL CONCRETE SCREWS SHALL BE 1/4" X 2 1/2 MIN., SIMPSON, HILTI, RAWL TAPCON, REDHEAD, DYNABOLT, OR APPROVED EQUAL
- ALL METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GALVANIZED
- ALL LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8x BOLT DIAMETER INTO STRUCTURAL FRAMING (G=42 MIN)
- LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW. ALL LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
- ALL EXPANSION ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH THE SPECIFIC MANUFACTURER'S REQUIREMENTS AND ALLOWABLE LOADS AND SHALL ONLY BE APPLIED IN CONDITIONS ACCEPTABLE TO MANUFACTURER
- ALL FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8 UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD, OR OTHERWISE NOTED
- ALL FASTENERS SHAL COMPLY WITH ASTM A153
- ALL CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185

### H. SITE PREPARATION

- ALL FOUNDATION SYSTEMS MUST BE IN PLACED ON CLEAN, COMPACTED, TERMITE-TREATED FILL/SOIL WITH VAPOR BARRIER
- IF EXISTING FOUNDATION IS TO REMAIN, FOOTING AND SLAB MUST BE VERIFIED AS ADEQUATE PER ENGINEERING DOCUMENTATION
- IF EXISTING FOUNDATION HAS ADEQUATE FOOTING AND SLAB, DRILL (12" O.C.) AND TRENCH WITHOUT UNDERCUTTING FOOTING TO PROVIDE TERMITE-TREATMENT AS REQUIRED. EPOXY PATCH ALL OPENINGS.

### I. REFERENCE STANDARDS:

ASTM E 119  
ASTM E 1300  
ASCE 7

### J. DESIGN LOADS

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2012, INTERNATIONAL RESIDENTIAL CODE, 2012

- DEAD LOAD (ADDITION): 5 PSF

- DEAD LOAD (DECK): 10 PSF

- FLOOR LOAD: 40 PSF

- BASIC WIND SPEED: 115 MPH
- IMPORTANCE FACTOR: 1.0
- WIND EXPOSURE CATEGORY: B
- VELOCITY PRESSURE EXPOSURE COEFFICIENT: 0.7
- INTERNAL PRESSURE COEFFICIENT: +/-0.18 ENCLOSED DESIGN
- GUST EFFECT FACTOR: 0.85
- DIRECTIONALITY FACTOR: 0.85
- DESIGN WIND PRESSURE:  
WALL: 17.32 PSF  
ROOF (UPLIFT): 19.05 PSF

- GROUND SNOW LOAD: 30 PSF MIN.
- EXPOSURE FACTOR: 1.0
- THERMAL FACTOR: 1.2
- IMPORTANCE FACTOR: 1.0
- SLOPE FACTOR: 1.0 (WORST CASE)
- STANDARD REDUCTION: 0.7
- DESIGN ROOF LOAD: 25 PSF MIN.

- DRIFT: 35 PSF TRIANGULAR LOAD OVER 7'-6" PROJECTION

### K. ABBREVIATIONS

THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS USED:

- TYP. - TYPICAL
- SIM. - SIMILAR
- UON - UNLESS OTHERWISE NOTED
- CONT. - CONTINUOUS
- V.I.F. - VERIFY IN FIELD

### L. RESPONSIBILITY

- ALL SITE WORK SHALL BE PERFORMED BY A LISCENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS
- THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE "SUNROOM" ROOM ADDITION ELEMENTS AS PROVIDED BY THE CONTRACTOR
- ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR
- ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY. THESE PLANS REPRESENT THE DESIGN INTENT FOR ITEM LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.
- REFER TO FOUR SEASONS SUNROOMS SHOP DRAWINGS FOR FURTHER DETAILS
- ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES

### M. MISCELLANEOUS

- ALUMINUM ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE STRUCTURE.

**EMC2 STRUCTURAL DESIGN INC.**  
1515 HOMESTEAD DR  
ORLANDO, FL 32817  
OFFICE: 717-888-3822  
FAX: 717-888-3822  
WWW.EMC2SDI.COM

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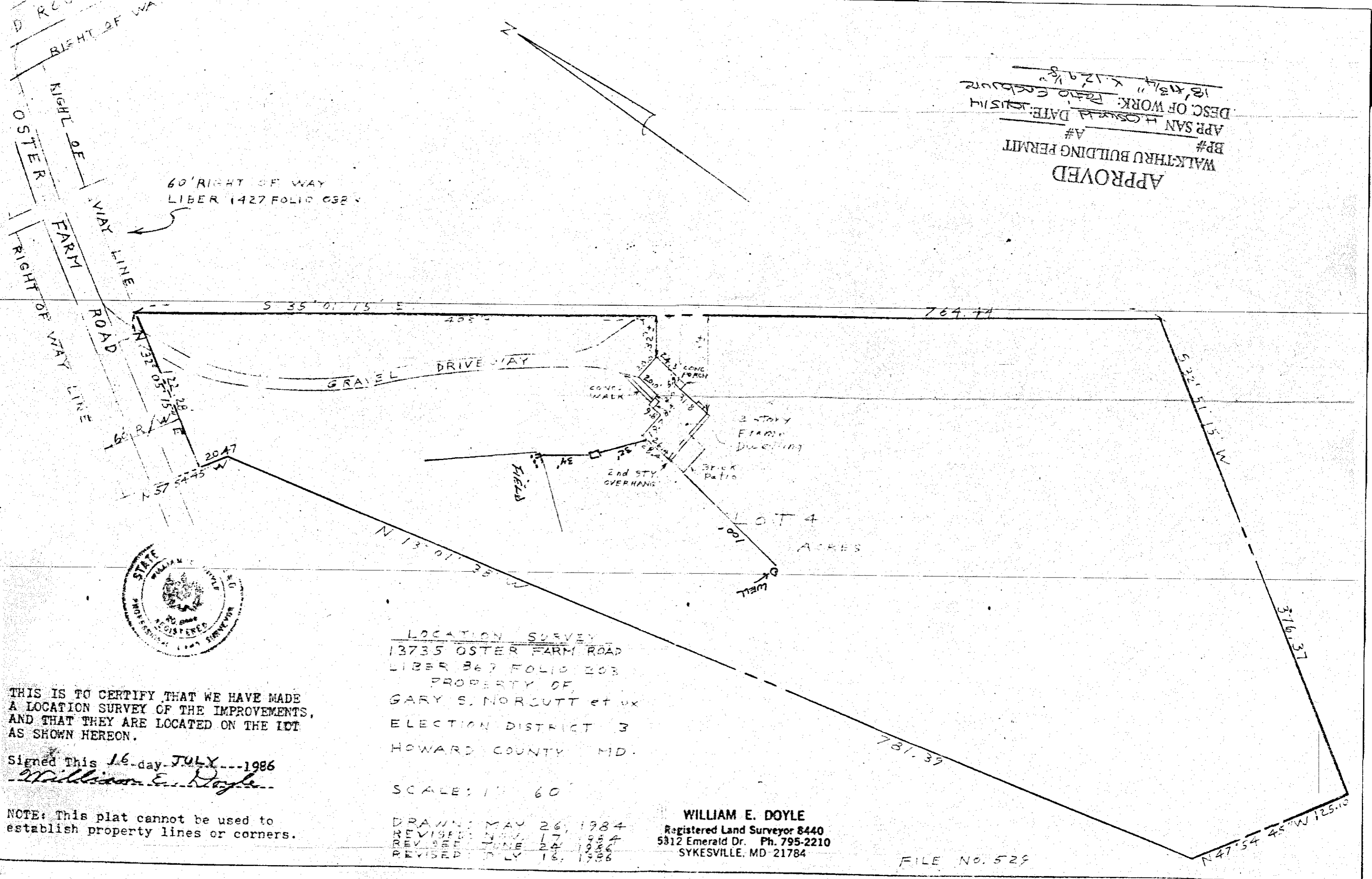
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PAGE: 1 OF 8



APPROVED  
 WALKTHRU BUILDING PERMIT  
 #  
 APP SAN H. GARDNER DATE: 10/15/14  
 DESC. OF WORK: Patio Enclosure  
 18' x 13 1/4" x 12' 9 1/8"



LOCATION SURVEY  
 13735 OSTER FARM ROAD  
 LIBER 867 FOLIO 203  
 PROPERTY OF  
 GARY S. NORCUTT et ux  
 ELECTION DISTRICT 3  
 HOWARD COUNTY MD.

SCALE: 1" = 60'

DRAWN: MAY 26, 1984  
 REVISED: MAY 17, 1984  
 REVISED: JUNE 24, 1986  
 REVISED: JULY 15, 1986

WILLIAM E. DOYLE  
 Registered Land Surveyor 8440  
 5312 Emerald Dr. Ph. 795-2210  
 SYKESVILLE, MD 21784

FILE NO. 529

THIS IS TO CERTIFY THAT WE HAVE MADE  
 A LOCATION SURVEY OF THE IMPROVEMENTS,  
 AND THAT THEY ARE LOCATED ON THE LOT  
 AS SHOWN HEREON.

Signed This 16 day JULY 1986  
 William E. Doyle

NOTE: This plat cannot be used to  
 establish property lines or corners.

SCALE:

1" = 4'

# FLOOR PLAN AND ELECTRICAL PLAN

## MEMBER LEGEND

H - STANDARD H COLUMN  
4GBA - SYSTEM 4 STANDARD COLUMN  
4GMA - SYSTEM 4 STANDARD GABLE COLUMN

## NOTES:

1. THIS ELECTRICAL LAYOUT HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2008 NEC  
2. ALL CIRCUITS MUST BE GFCI.

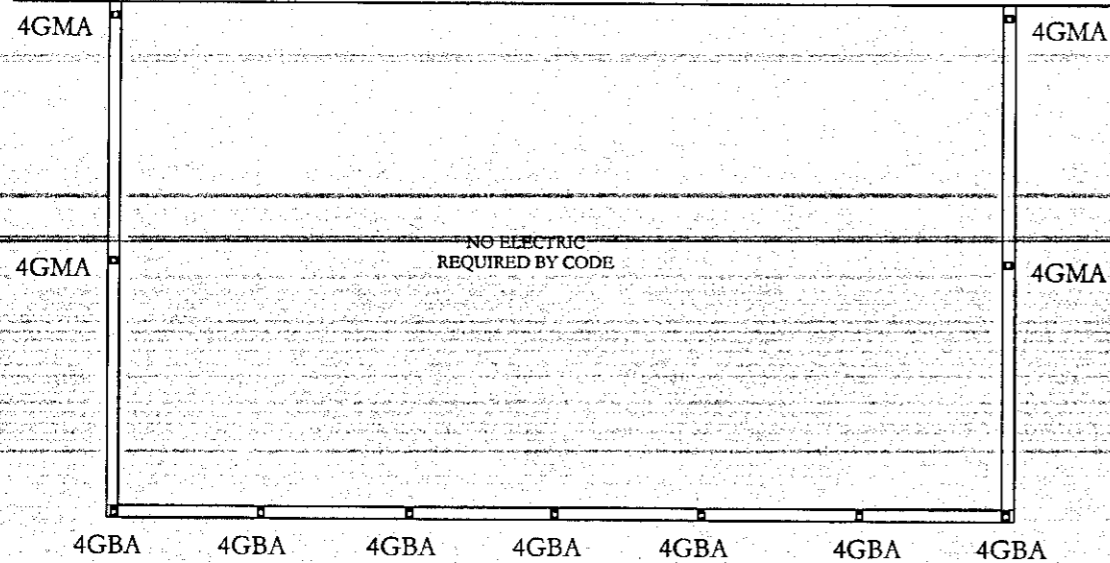
## ELECTRICAL LEGEND

□ 110 VOLT OUTLET  
○ LIGHT FIXTURE  
\$ SWITCH

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

EXISTING HOUSE AND OPENINGS TO REMAIN

EXISTING EGRESS TO BE VERIFIED IN FIELD

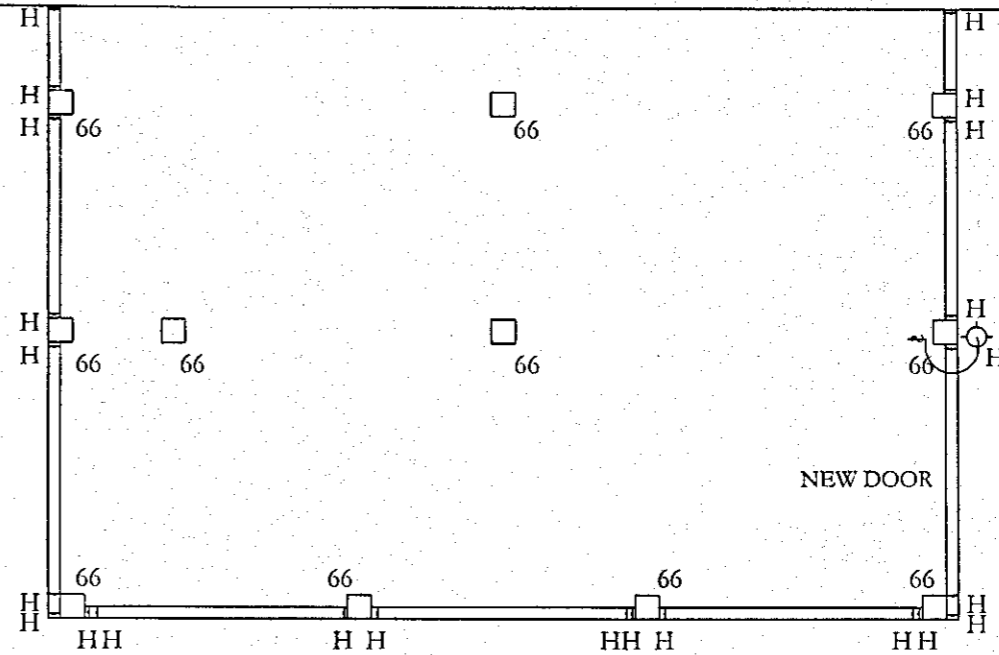


UPPER LEVEL

EXISTING HOUSE AND OPENINGS TO REMAIN

EXISTING EGRESS TO BE VERIFIED IN FIELD

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD



LOWER LEVEL

EMC2 STRUCTURAL DESIGNING  
 615 HOMESTEAD DR  
 LEESBURG, VA 22082  
 OFFICE: 703-889-3829  
 WWW.EMC2D.COM

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