

LAYOUT 7/19/07 INSP 4 _____
INSP 2 7/25/07 INSP 5 _____
INSP 3 7/30/07 INSP 6 _____

ISSUE DATE: 7/13/2007

P 527257

APPROVAL DATE: 7/31/07 *Logged Into Permit Manager*

A 515042-B

PERMIT
TAX ID #
ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL ALTER

ADDRESS: 580 Obrecht Road PHONE NUMBER: 410-795-5670

SUBDIVISION: Homewood Crossing LOT NUMBER: 2

ADDRESS: 11405 Hunt Crossing Ct PROPERTY OWNER: Toll MD III Lf

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 3

APPLICATION RATE: 0.8

LINEAR FEET OF TRENCH REQUIRED: 185

TRENCHES:	Trench to be 2 feet wide. Inlet 4 feet below original grade. Bottom maximum depth 7 feet below original grade. Effective area begins at 5.5 feet below original grade. 3 feet of stone below distribution pipe.
LOCATION:	
NOTES:	Install septic system per plan unless directed by inspector. Remove fill in front of septic easement prior to tank placement

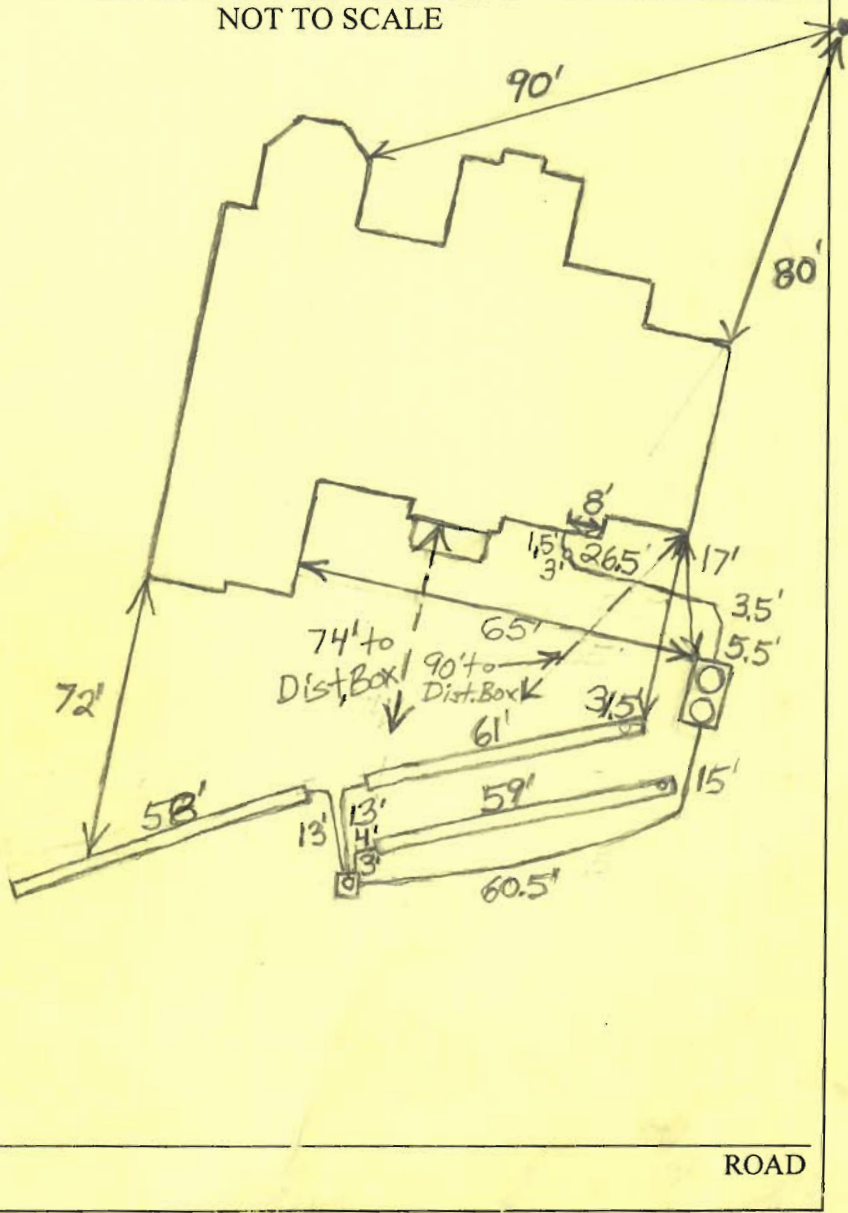
PLANS APPROVED: SF DATE: 1/11/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

515042-B

NOT TO SCALE



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	4'	7'
NUMBER OF TRENCHES		3
TOTAL LENGTH		178'
ABSORPTION AREA		267
DISTRIBUTION BOX LEVEL		Levelers
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	0.5-3'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front+Rear
6" PORT LOC	None
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	N/A
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____

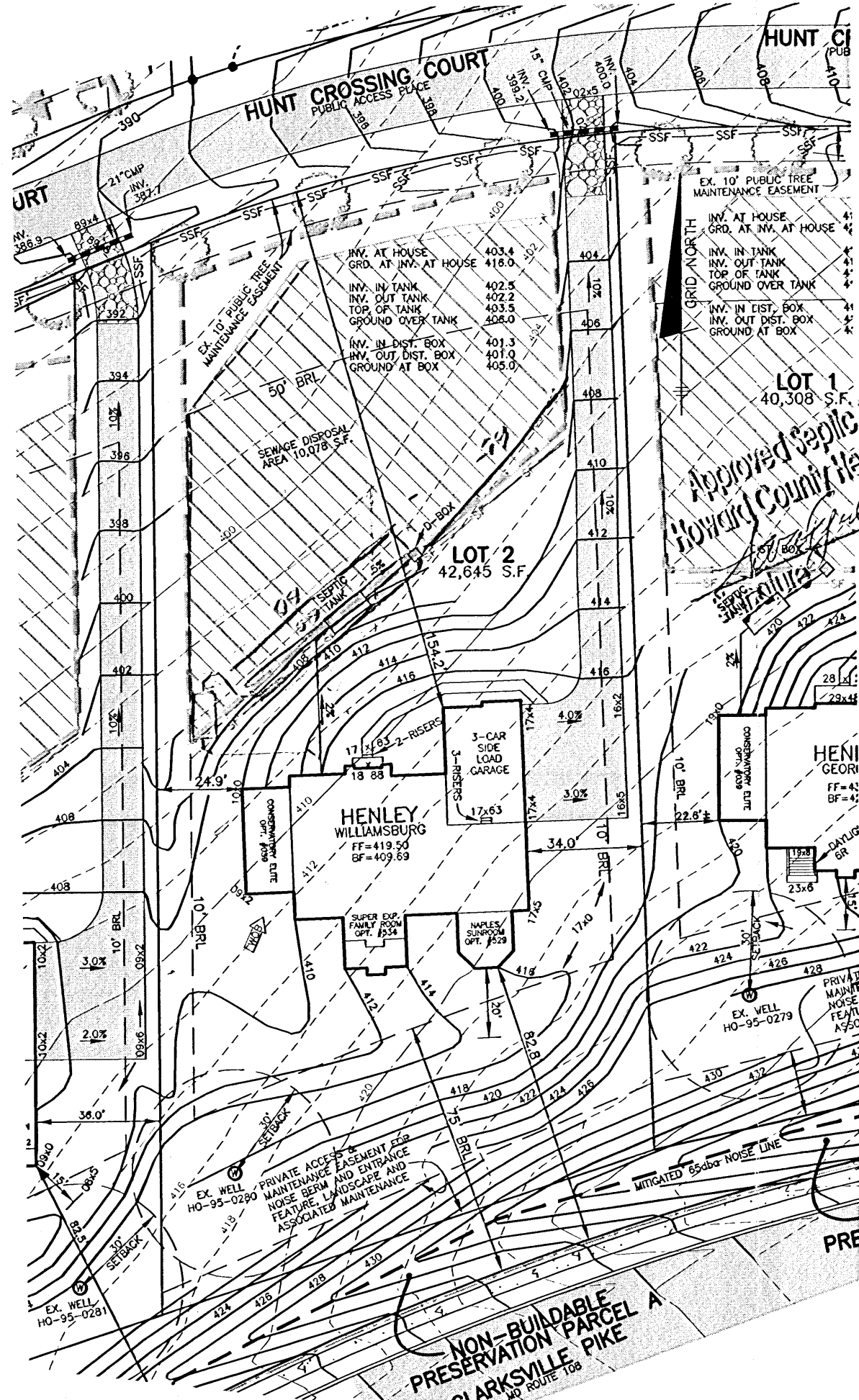
PRE-CONSTRUCTION 7/19/2007 Set the septic tank in the upper right corner of the septic easement. Place the dist. box near the top middle of the septic easement and install 60' trenches in both directions. (BB)

INSTALLATION 7/25/07 Tank set and house connection made. (BB)

7/30/07 Trenches installed. (BB) 7/31/07 Connection from tank to dist. box completed. System finished. (BB)

FINAL INSPECTOR B. Baker

DATE OF APPROVAL 7/31/07



959'030'6 L.C.

Approved Septic System Plan
 Howard County Health Department
 1/11/07
 Data

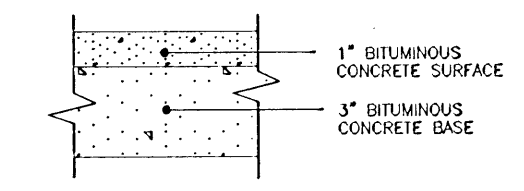
NOTES:

1. THE LOT SHOWN HEREON WAS RECORDED ON 12-13-05 AS PLAT NUMBER 17896. REFER TO THIS PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND BUILDING RESTRICTIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
3. EXACT LENGTH OF SEPTIC TRENCHES ARE TO BE DETERMINED BY THE HEALTH DEPARTMENT AT THE TIME OF PRECONSTRUCTION INSPECTION.
4. SPOIL FROM THE TRENCHING OF THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE EXCAVATION FOR EACH INDIVIDUAL LOT.
5. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER F-05-031 AND GP-06-94 AND SHALL COMPLY WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. STORMWATER MANAGEMENT FOR THIS LOT WAS PROVIDED UNDER F-05-031.
7. THE EXISTING WELL (TAG NO. HO-95-0280) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON 12-20-06 AND IS ACCURATELY SHOWN.
8. DRIVEWAY CULVERT COMPUTATIONS HAVE BEEN PROVIDED WITH THIS BUILDING PERMIT PLOT PLAN. THE CULVERT SHALL BE 15" CMP OR ELLIPTICAL EQUIVALENT.

304009311

LEGEND

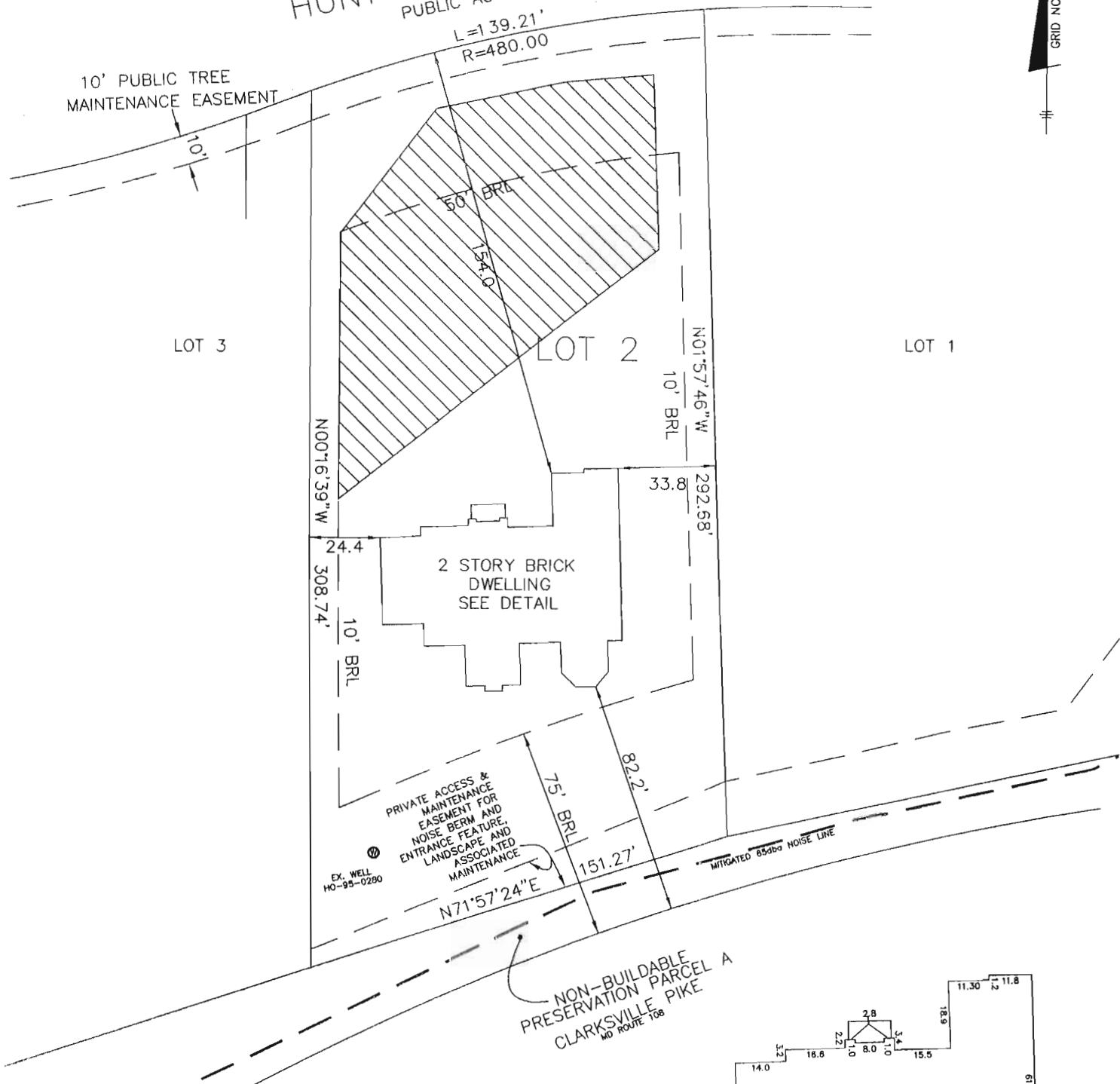
- EXISTING CONTOURS ESTABLISHED UNDER F-05-031
- FIELD SURVEYED WELL LOCATION
- STREET TREES INSTALLED UNDER F-05-031
- INDICATES WALK-OUT BASEMENT LOCATION
- STABILIZED CONSTRUCTION ENTRANCE INSTALLED UNDER GP-06-94
- SUPER SILT FENCE INSTALLED UNDER F-05-031
- SUPER SILT FENCE INSTALLED UNDER GP-06-94
- SILT FENCE INSTALLED UNDER F-05-031
- LIMIT OF DISTURBANCE UNDER F-05-031



FULL DEPTH BIT. CONC. ALTERNATIVE
P-1 PAVING DETAIL
 NOT TO SCALE

BENCHMARK ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 418 ELLICOTT CITY, MARYLAND 21043 PHONE: 410-465-6105 FAX: 410-465-6644 www.bei-civilengineering.com		HOMEWOOD CROSSING PLOT PLAN LOT 2 11405 HUNT CROSSING COURT TAX MAP 29, GRID 9 - PARCEL 28 3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
BUILDER: TOLL MD III LIMITED PARTNERSHIP 7164 COLUMBIA GATEWAY DRIVE SUITE 230 COLUMBIA, MARYLAND 21046 410-872-9105		HOUSE TYPE: HENLEY WILLIAMSBURG ELEVATION	
DATE: DECEMBER 27, 2006		PROJECT NO. 1913	
SCALE: 1" = 40'		DRAWING <u>1</u> OF <u>1</u>	

HUNT CROSSING COURT
PUBLIC ACCESS PLACE



FIRST FLOOR ELEVATION = 419.6'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.2'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 7/03/07.

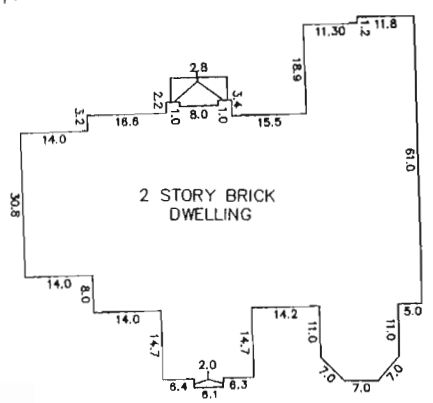
7/5/07
S. Jalon
STEPHAN JALON
PROFESSIONAL LAND SURVEYOR
MD REG. No. 10726
FOR BENCHMARK ENGINEERING, INC.
MD REG. No. 351
RECORD PLAT No. 17896
FEMA FIRM No. 240044 0027 B
ZONE: C
DATED: 12/04/86



BENCHMARK
ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE • SUITE 418
ELLCOTT CITY, MARYLAND 21043
phone: 410-465-6105 • fax: 410-465-6644
www.bei-civilengineering.com

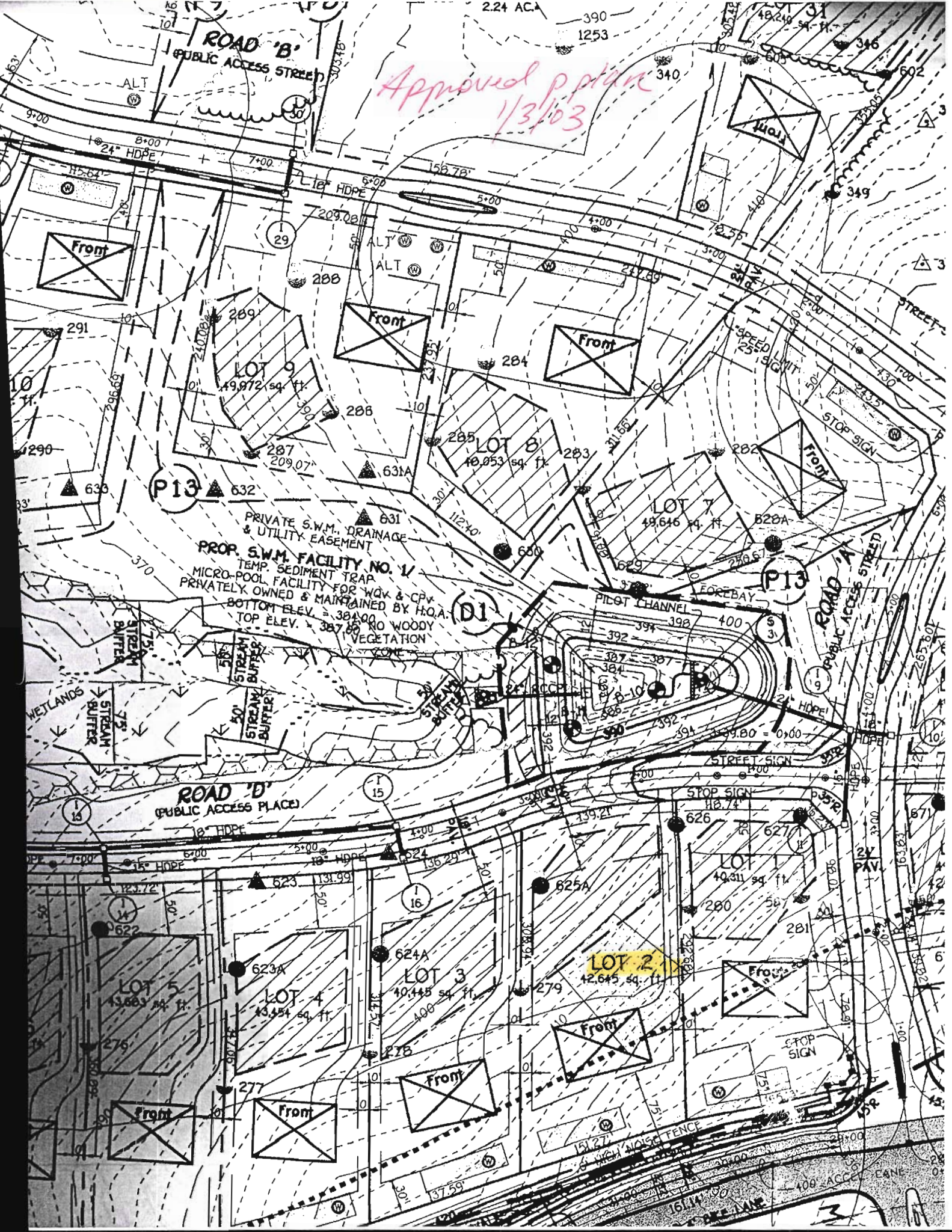
FIELD OBS. BY PJ
COMP. BY JWG
DRAWN BY JWG



FOUNDATION DETAIL
SCALE: 1" = 40'

*wall check
ok 7/13/07
JWG*

WALL CHECK
LOT No. 02
HOMEWOOD CROSSING
LOTS 1 THRU 43
Plat No. 17896
11405 HUNT CROSSING COURT
3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: 07/03/07



Approved p plan
1/3/03

PROP. S.W.M. FACILITY NO. 1
TEMP. SEDIMENT TRAP
MICRO-POOL FACILITY FOR WQV & CPV
PRIVATELY OWNED & MAINTAINED BY H.O.A.
BOTTOM ELEV. = 384.00
TOP ELEV. = 387.80
NO WOODY
VEGETATION
ZONE

LOT 2
12,645 sq. ft.

ROAD 'D'
(PUBLIC ACCESS PLACE)

ROAD 'B'
(PUBLIC ACCESS STREET)

ROAD 'A'
(PUBLIC ACCESS STREET)

WETLANDS

STREAM BUFFER

STREAM BUFFER

STREAM BUFFER

STOP SIGN

STOP SIGN

STOP SIGN

STOP SIGN

NOISE FENCE

400' ACCESS EASEMENT

Front

Front

Front

Front

Front

Front

Front

Front

Front

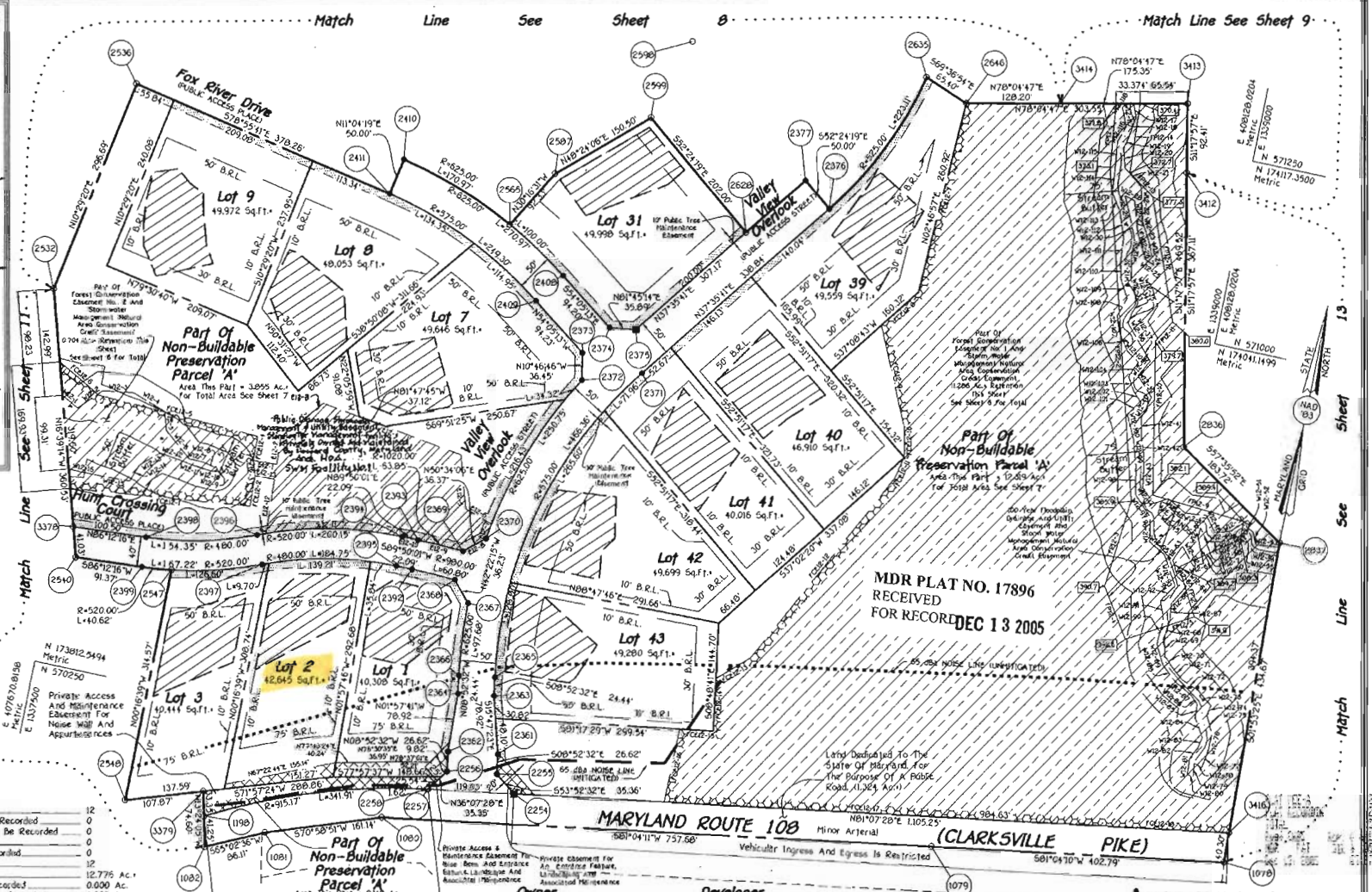
The Requirements §3-108, The Real Property Article, Annotated Code of Maryland, 1986 Replacement Volume, As Supplemented As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With

Terrell A. Fisher, L.S. 17022 7/6/05
 (Registered Land Surveyor)
May Carter Carroll Ziegler 7/15/05
 Date
John L. Carroll, Jr. 7/21/05
 Date
Sophie Annice Ziegler 7/15/05
 Date
Nathalie Ziegler 7/15/05
 Date
John L. Carroll, Jr. 7/6/05
 Date
John L. Carroll, Sr. 7/20/05
 Date
Christopher Gerard 7/15/05
 Date
Christopher Gerard (Trustee) 7/20/05
 Date

Reservation of Public Utility And Forest Conservation Easements
 Developer Reserves unto itself, its Successors And Assigns, AS Easements Shown On This Plan For Water, Sewer, Storm Drainage, Other Public Utilities And Forest Conservation (Designated AS "Forest Conservation Area"), Located In, On, Over, And Through Lots 1 Thru 43, Non-Buildable Preservation Parcel 'A', And Non-Buildable Bulk Parcels 'B' Thru 'J', Any Conveyances Of The Aforesaid Lots Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deeds Conveying Said Lots. Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, With A Plan And Survey Description Of The Forest Conservation Area. Upon Completion Of The Public Utilities And Their Acceptance By Howard County, And In The Case Of The Forest Conservation Easement(s), Upon Completion Of The Developer's Obligations Under The Forest Conservation Installation And Maintenance Agreement Executed By Developer And The County, And The Release Of Developer's Surety Posted With Said Agreement, The County Shall Accept The Easements And Record The Deeds Of Easement In The Land Records Of Howard County.

Area Tabulation for Sheet 12

Total Number of Buildable Lots to be Recorded	12
Total Number of Buildable Preservation Parcels to be Recorded	0
Total Number of Non-Buildable Preservation Parcels to be Recorded	0
Total Number of Open Space Lots to be Recorded	0
Total Number of Non-Buildable Bulk Parcels to be Recorded	0
Total Number of Lots/Parcels to be Recorded	12
Total Area of Buildable Lots to be Recorded	12,776 Ac.
Total Area of Buildable Preservation Parcels to be Recorded	0.000 Ac.
Total Area of Non-Buildable Preservation Parcels to be Recorded	4.003 Ac.
Total Area of Open Space Lots to be Recorded	0.000 Ac.
Total Area of Non-Buildable Bulk Parcels to be Recorded	12,319 Ac.
Total Area of Lots/Parcels to be Recorded	29,098 Ac.
Total Area of Roadway to be Recorded	3,479 Ac.
Total Area to be Recorded	32,577 Ac.



MDR PLAT NO. 17896
 RECEIVED
 FOR RECORD DEC 13 2005

Owner
 CARTER, CARROLL, ZIEGLER, ET AL.
 C/O NATALIE ZIEGLER
 11352 HORNWOOD ROAD
 ELLICOTT CITY, MARYLAND 21042

Developer
 TOLL MD INC LIMITED PARTNERSHIP
 ATTN: MR. SCOTT HASE
 7164 COLUMBIA CAPITAL BLVD, SUITE 230
 COLUMBIA, MARYLAND 21046

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 COLUMBIA SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 1982-1983

APPROVED: For Private Water And Private Sewerage Systems,
 Howard County Department.
Robert J. Walls 11/3/05
 Date
 Howard County Health Officer
 APPROVED: Howard County Department Of Planning And Zoning
John L. Carroll, Jr. 12/2/05
 Date
 Chief, Development Engineering Division
David H. Ziegler 12/1/05
 Date
 Director

OWNER'S CERTIFICATE
 Carter Carroll Ziegler, Jessica Madeline Ziegler, Sophie Annice Ziegler, Natalie Carroll Ziegler, John L. Carroll, Jr., Thomas T. Carroll, Genevieve Carroll, John L. Carroll, Sr. (Trustee), Christopher Gerard (Trustee), Owners Of The Property Shown And Described Herein Herby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors, And Assigns, (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon, (2) The Right To Require Dedication For Public Use The Beds Of The Streets And Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable, (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of This Construction, Repair And Maintenance, And (4) THAT NO Building Or Similar Structure Of Any Kind Shall be Erected On Or Over The Said Easements And Rights-Of-Way, Witness My Hand This 15th Day Of July, 2005.

May Carter Carroll Ziegler
 May Carter Carroll Ziegler
Nathalie Ziegler
 Nathalie Ziegler
John L. Carroll, Jr.
 John L. Carroll, Jr.
John L. Carroll, Sr. (Trustee)
 John L. Carroll, Sr. (Trustee)
Christopher Gerard
 Christopher Gerard (Trustee)

SURVEYOR'S CERTIFICATE
 I hereby certify to the best of my knowledge that the first plat shown hereon is correct; that it is a subdivision which is comprised of (a) the land which John Lee Carroll, May Carter Carroll Ziegler and the first descendants of May Carter Carroll Ziegler acquired by the Last Will and Testament of Fisher A. Carroll deceased, that is recorded among the Will Records of Howard County, Maryland in Liber 306 of the land which John Lee Carroll, Jr. conveyed to John Lee Carroll and Christopher C. Gerard, Trustees by deed dated April 30, 2001 and recorded among the Land Records of Howard County, Maryland in Liber 5463 of Folio 266 (3) Part of the land which Genevieve A. Carroll conveyed to John Lee Carroll and Christopher C. Gerard, Trustees by deed dated April 30, 2001 and recorded among the Land Records in Liber 5463 of Folio 270 and (4) Part of the land which Thomas T. Carroll conveyed to John Lee Carroll and Christopher C. Gerard, Trustees by deed dated April 30, 2001 and recorded among said Land Records in Liber 5463 of Folio 267 and (5) All monuments are in place or will be in place prior to acceptance of the streets in the subdivision by Howard County, Maryland as shown in accordance with the annotated Code of Maryland, as amended, and monuments in accordance with the Howard County Subdivision Regulations.

Terrell A. Fisher 7/16/05
 Date
 Terrell A. Fisher, Professional Land Surveyor

RECORDED AS PLAT NO. _____ ON
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

HOMWOOD CROSSING
 Lots 1 Thru 43,
 Non-Buildable Preservation Parcel 'A'
 And Non-Buildable Bulk Parcels 'B', Thru 'J'
 Zoned RC-DEO

Tax Map: 29 Grid 9 Parcel 29
 Third Election District
 Howard County, Maryland

Scale: 1" = 100'
 Date: July 5, 2005
 Sheet 12 of 17

Howard Lamm

K:\SSD\PROJ\10754_Benevolat\Embunghard\Board\Plat\12.dwg, 7/6/2005 12:25:04 AM

P16A42 12/2/05
 F-05-31
 HSA CSU 2125 3288-12

PRIVATE SEPTIC INFORMATION

LOT NUMBER	SEPTIC AREA SIZE	LOT NUMBER	SEPTIC AREA SIZE
1	10,170 sq.ft.	41	10,048 sq.ft.
2	10,077 sq.ft.	42	10,006 sq.ft.
3	10,199 sq.ft.	43	11,805 sq.ft.
4	10,621 sq.ft.	44	10,040 sq.ft.
5	10,852 sq.ft.	45	10,607 sq.ft.
6	10,040 sq.ft.	46	10,088 sq.ft.
7	10,375 sq.ft.	47	10,032 sq.ft.
8	10,846 sq.ft.	48	10,094 sq.ft.
9	10,198 sq.ft.	49	10,812 sq.ft.
10	10,041 sq.ft.	50	10,086 sq.ft.
11	10,083 sq.ft.	51	10,282 sq.ft.
12	10,112 sq.ft.	52	10,431 sq.ft.
13	10,069 sq.ft.	53	10,009 sq.ft.
14	10,011 sq.ft.	54	11,473 sq.ft.
15	10,374 sq.ft.	55	10,242 sq.ft.
16	12,335 sq.ft.	56	10,158 sq.ft.
17	10,141 sq.ft.	57	11,250 sq.ft.
18	10,210 sq.ft.	58	10,149 sq.ft.
19	10,745 sq.ft.	PARCEL A	11,944 sq.ft.
20	10,703 sq.ft.	59	10,754 sq.ft.
21	11,751 sq.ft.	60	10,287 sq.ft.
22	10,118 sq.ft.	61	10,108 sq.ft.
23	10,055 sq.ft.	62	10,790 sq.ft.
24	10,031 sq.ft.	63	10,615 sq.ft.
25	10,340 sq.ft.	64	11,220 sq.ft.
26	11,222 sq.ft.	65	12,076 sq.ft.
27	10,885 sq.ft.	66	10,706 sq.ft.
28	13,499 sq.ft.	67	10,072 sq.ft.
29	10,193 sq.ft.	68	10,072 sq.ft.
30	10,744 sq.ft.	69	10,382 sq.ft.
31	10,354 sq.ft.	70	10,197 sq.ft.
32	11,090 sq.ft.	71	10,099 sq.ft.
33	10,411 sq.ft.	72	10,252 sq.ft.
34	10,829 sq.ft.	73	11,603 sq.ft.
35	11,229 sq.ft.	74	10,079 sq.ft.
36	10,459 sq.ft.	75	10,311 sq.ft.
37	10,006 sq.ft.	76	10,212 sq.ft.
38	10,060 sq.ft.	77	10,827 sq.ft.
39	10,092 sq.ft.	78	10,016 sq.ft.
40	10,842 sq.ft.	79	10,555 sq.ft.

TENTATIVELY APPROVED
DEPT. OF PLANNING AND
ZONING OF
HOWARD COUNTY

Marche D. Laugel
PLANNING DIRECTOR
(Acting) JA

1/28/03
DATE

SEPTIC SPECIFICATIONS WORK-SHEET

SUBDIVISION: 10405 Hill Country A _____

STREET NAME: _____ LOT NUMBER: _____

AVERAGE PERCOLATION RATE: 6 SQUARE FEET PER BEDROOM: APR = 0.8

NUMBER OF BEDROOMS: 3 LINEAR FEET OF TRENCH PER BEDROOM: _____

TOTAL LINEAR FEET OF TRENCH: 185 SEPTIC TANK CAPACITY: _____

TOP SEAMED TANK REQUIRED? YES NO

COMPARTMENTED TANK REQUIRED? YES NO

$$\frac{3 \times 150}{0.8} = \frac{562}{2} = 281 \times .66 = 185$$

TRENCH DIMENSIONS: Trench to be 2 feet wide. Inlet 4 feet below original grade. Bottom maximum depth ~~4~~⁷ feet below original grade.

Effective area begins at 5.5 feet below original grade. ~~4.5~~ feet of stone below distribution pipe.

===== PUMPED SYSTEM PROPOSED: YES NO

PUMPED SEPTIC SYSTEM DETAIL: _____ gallon pump chamber.

YES NO Top seamed pump chamber required?

Note 1: Septic pump detail to be provided by installer prior to issuance of septic permit.

Note 2: Pump performance test is necessary prior to Health Department approval of pumped septic system.

===== LOCATION: _____

ADDITIONAL NOTES: Install septic per plan unless
directed by inspector. ^{Permit} Fall in front of
septic placement ~~is to be~~ per
to tank placement

Reviewer: df

Date: 1/11/07