

LAYOUT 8-8-12 INSP 4 _____
INSP 2 8/21/2012 INSP 5 _____
INSP 3 _____ INSP 6 _____

538026

ISSUE DATE: 8-2-12

PERMIT

P ~~538~~

APPROVAL DATE: 8/23/2012

A _____

Tax ID # 04-340663

**ON-SITE SEWAGE DISPOSAL SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH**

Cumberland & Company IS PERMITTED TO INSTALL ALTER

ADDRESS: _____ PHONE NUMBER: 301-252-4123

SUBDIVISION: Cabin River Farms LOT NUMBER: 15

ADDRESS: 3541 Hipsley Mill Road PROPERTY OWNER: Avis Meijer

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 3 APPLICATION RATE: 1.2

SQUARE FOOTAGE OF HOUSE: 4,100

LINEAR FEET OF TRENCH REQUIRED: 94'

TRENCHES:	Trenches to be 2.0 feet wide. Inlet is at 3.0 feet below original grade with 3.0 feet of stone below the distribution pipe. Bottom maximum depth is 6.0 feet below original grade. Effective sidewall begins at 3.5 feet below original grade. Maintain at least 7.0 feet of spacing between trenches.
LOCATION:	Set septic tank before and slightly above southeast corner of septic reserve area. Set distribution box near southeast corner of septic reserve area. Install 1 x 94' trench on contour toward north boundary.
NOTES:	Do not order the septic tank until after layout inspection and Sanitarian approval. Stake easement corners. Call for layout inspection. Mark utilities. Gravel tickets must be available for Environmental Sanitarians. Stone must be approved by the Howard County Health Department. A written variance request is required for tanks deeper than 3 feet. A traffic bearing lid is required for tanks deeper than 4 feet.

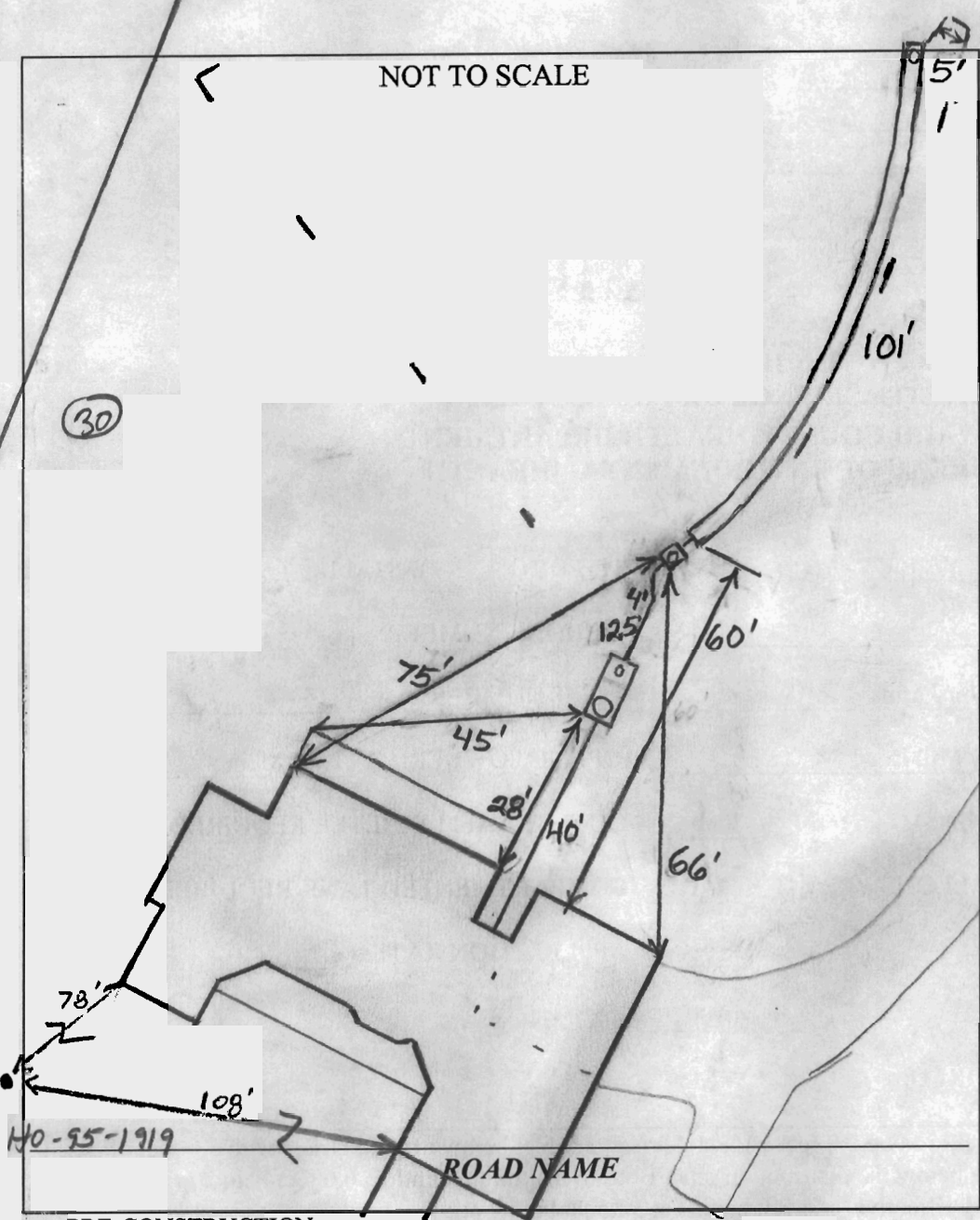
PLANS APPROVED: Robert Bricker DATE: 7/17/12

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR
THE SUCCESSFUL OPERATION OF ANY SYSTEM
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE

30



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
<u>3</u>	<u>3.5</u>	<u>6</u>
NUMBER OF TRENCHES <u>1</u>		
TOTAL LENGTH <u>101'</u>		
ABSORPTION AREA <u>253</u>		
DISTRIBUTION BOX LEVEL <u>N/A</u>		
DISTRIBUTION BOX BAFFLE <u>Yes</u>		
DISTRIBUTION BOX PORT <u>Yes</u>		

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	<u>Yes</u>
MANUFACTURER	<u>Baby Lon</u>
CAPACITY	<u>2000</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>12"</u>
BAFFLES	<u>Yes</u>
BAFFLE FILTER	<u>No</u>
MANHOLE LOC	<u>Front</u>
6" PORT LOC	<u>Rear</u>
WATERTIGHT TEST	<u>No</u>
SLOTTED	<u>Yes</u>
DATE ON LID	<u>6-13-12</u>
RUMP/SEPTIC TANK LEVEL <u>NA</u>	
MANUFACTURER _____	
CAPACITY _____ GAL	
SEAM LOC _____	
TANK LID DEPTH _____	
BAFFLES _____	
BAFFLE FILTER _____	
MANHOLE LOC _____	
6" PORT LOC _____	
WATERTIGHT TEST _____	
SLOTTED _____	
DATE ON LID _____	

PRE-CONSTRUCTION:

8/8/12 Set ST 20' from foundation. Run 1 x 100' trench @ high part of SRA on contour. Specs to remain as is on permit. Trench not take location's provided cut. Call when working for inspection (KW)

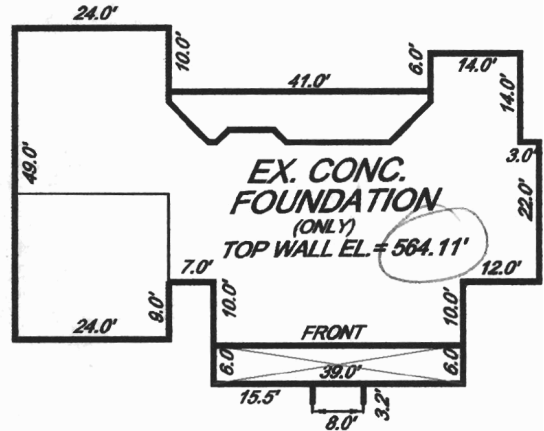
INSTALLATION: 8/21/12 S.T. set from layout. Trench dug. Needs to be stored. Site made to take trench good. OK to continue. Call in for final inspection (KW)

8/22/2012 System finished. O.K. to backfill. (PB)

FINAL INSPECTOR B. Baker DATE OF APPROVAL 8/23/2012

THE LOT SHOWN HEREON IS IN FLOOD
 ZONE "C" PER. F.E.M.A. FLOOD
 INSURANCE RATE MAP 2400440019B

HIPSLEY MILL ROAD
 LOCAL ROAD 80' RW



FOUNDATION DETAIL
 SCALE: 1"=30'

*Wall check
 OK 8-2-12
 HB*



- NOTE: ACCURACY OF APPARENT SETBACK DISTANCES ARE 1 FT. +/-
- NOTE: (A.) THIS PLAT IS NOT INTENDED FOR USE IN ESTABLISHING PROPERTY LINES AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- (B.) THIS PLAT IS OF THE BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
- (C.) THIS PLAT SHOULD NOT BE RELIED UPON FOR THE LOCATION OR ESTABLISHMENT OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS

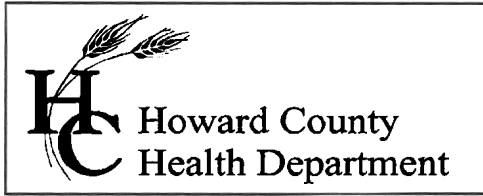
LOCATION CERTIFICATION
LOT 15
BLOCK 'A'- CABIN RIVER FARMS
 (MDR PLAT#21257)
3541 HIPSLEY MILL ROAD
BLOCK 'A'- CABIN RIVER FARMS

ZONED - "RC-DEO"
 TAX MAP 20 GRID 3 PARCEL 115
 4TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 DATE: 04/03/12 SCALE: 1" = 100'

THIS IS TO CERTIFY THAT WE HAVE LOCATED THE IMPROVEMENTS AS SHOWN ACCORDING TO THE REGULATIONS GOVERNING THE MARYLAND STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE DATE AUGUST, 2005

Richard Krebs
 MR. RICHARD S. KREBS MD. REG. NO. 10873 DATE: 4/9/2012
 EXP. DATE 4/24/14

CHARLES R. CROCKEN & ASSOCIATES, INC.
 Civil Engineering Land Planning
 902 Lee Ave.
 Sykesville, Md. 21157
 Tel. (410) 549-2708




7178 Columbia Gateway Drive, Columbia MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

7/21/2010

TO: Julia Boone
Division of Land Development

FROM: Kevin M. Wolf, R.S., R.E.H.S. 
Environmental Sanitarian
Well and Septic Program
Groundwater Management Section

RE: File Number: F-10-094
Cabin River Farms, Lots 14 & 15

DATE: July 21st, 2010

The wells for the *Cabin River Farms* subdivision have been drilled and received preliminary approval by the Health Department. The recordation of plat F-10-094 should not be held up any longer due to issues involving well drilling. The developer of this project has fulfilled this prerequisite. If there are any questions involving this particular memorandum, I can be reached at (410) 313 – 2645.

Sincerely,

Kevin M. Wolf

KMW
C.C. File

SOILS LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL GROUP
GaC	Oakleaf loam, 8 to 15 percent slopes	B
GgB	Oleneg loam, 3 to 8 percent slopes	B
GgC	Oleneg loam, 8 to 15 percent slopes	B

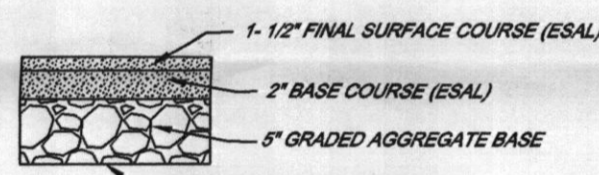
REQUIRED SEQUENCE OF CONSTRUCTION (SINGLE FAMILY LOT)

- OBTAIN GRADING PERMIT (1-DAY)
- CLEAR AND GRUB FOR INSTALLATION OF TEMPORARY SEDIMENT CONTROL MEASURES, SILT FENCE AND STONE CONSTRUCTION ENTRANCE. (1/2 DAY)
- INSTALL TEMPORARY SEDIMENT CONTROL MEASURES (1/2 DAY)
- UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB SITE FOR CONSTRUCTION OF DWELLING, DRIVEWAY AND WALKS. (1 DAY)
- GRADE SITE AND CONSTRUCT DWELLING, DRIVEWAY AND WALKS PER APPROVED PLAN (12 - WEEKS)
- STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH PER SCS STANDARDS. (2 DAYS)
- UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES AND STABILIZE ALL DISTURBED AREAS PER SCS STANDARDS. (2 DAYS)

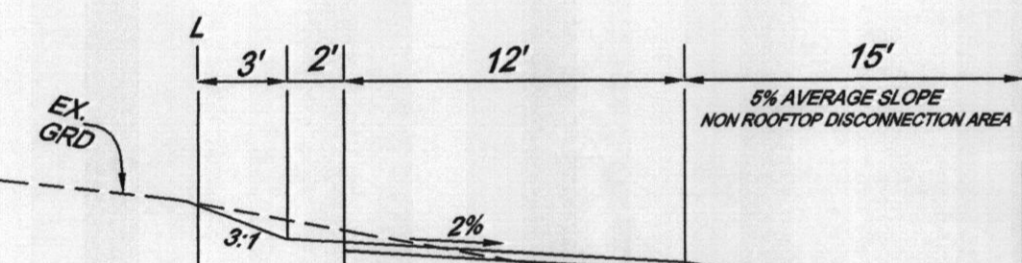
SEPTIC SYSTEM DATA

HOUSE	
INV. AT HOUSE	560.03
SEPTIC TANK	
EX. GRADE	561.0
FIN. GRADE	561.3
INV. IN	558.99
INV. OUT	558.29
DISTRIBUTION BOX	
EX. GRADE	561.0
FIN. GRADE	561.0
INV. IN	558.5
INV. OUT	555.2

THE NUMBER OF TRENCHES, THEIR LENGTH, DEPTH, AND ORIENTATION TO BE DETERMINED BY HEALTH DEPARTMENT.
GRAVITY SEWER SERVICE IS AVAILABLE TO FIRST FLOOR.
SEWER SERVICE TO BASEMENT AVAILABLE BY GRINDER PUMP.

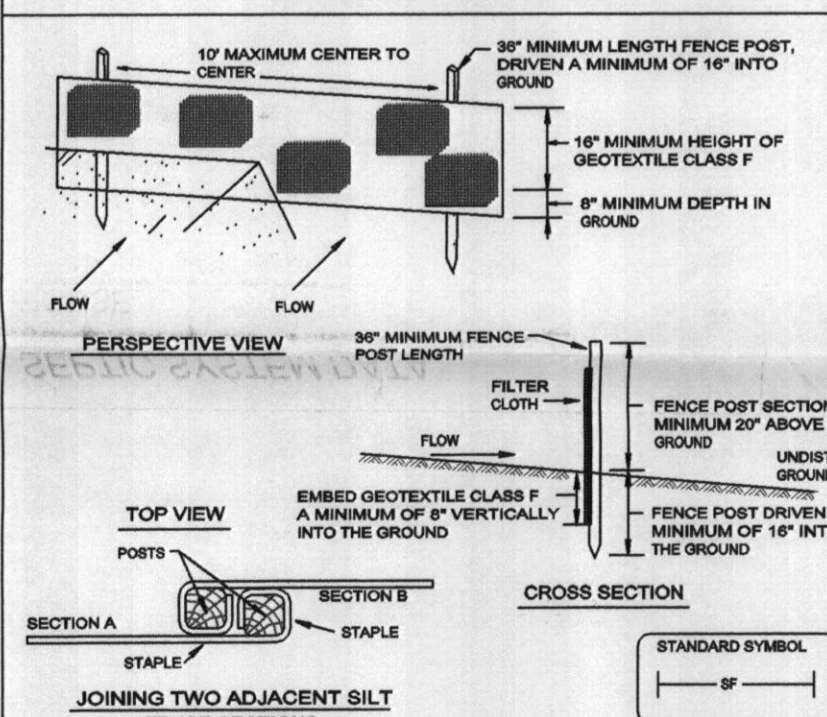


DRIVEWAY PAVING SECTION (P-1)
NOT TO SCALE



DRIVEWAY DETAIL
NOT TO SCALE

DETAIL 22 - SILT FENCE



Construction Specifications

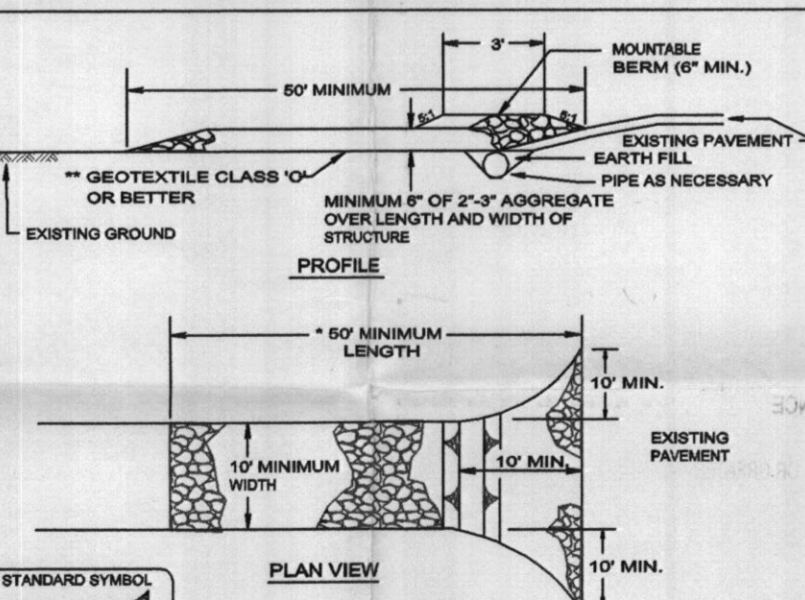
- Fence posts shall be a minimum of 30" long driven 18" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.000 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	90 lbs/in (min.)	Test: MSMT 809
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 809
Flow Rate	0.3 gal / ft / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

- Where ends of geotextile fabric come together, they shall be overlapped, ridged and stapled to prevent seam types.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

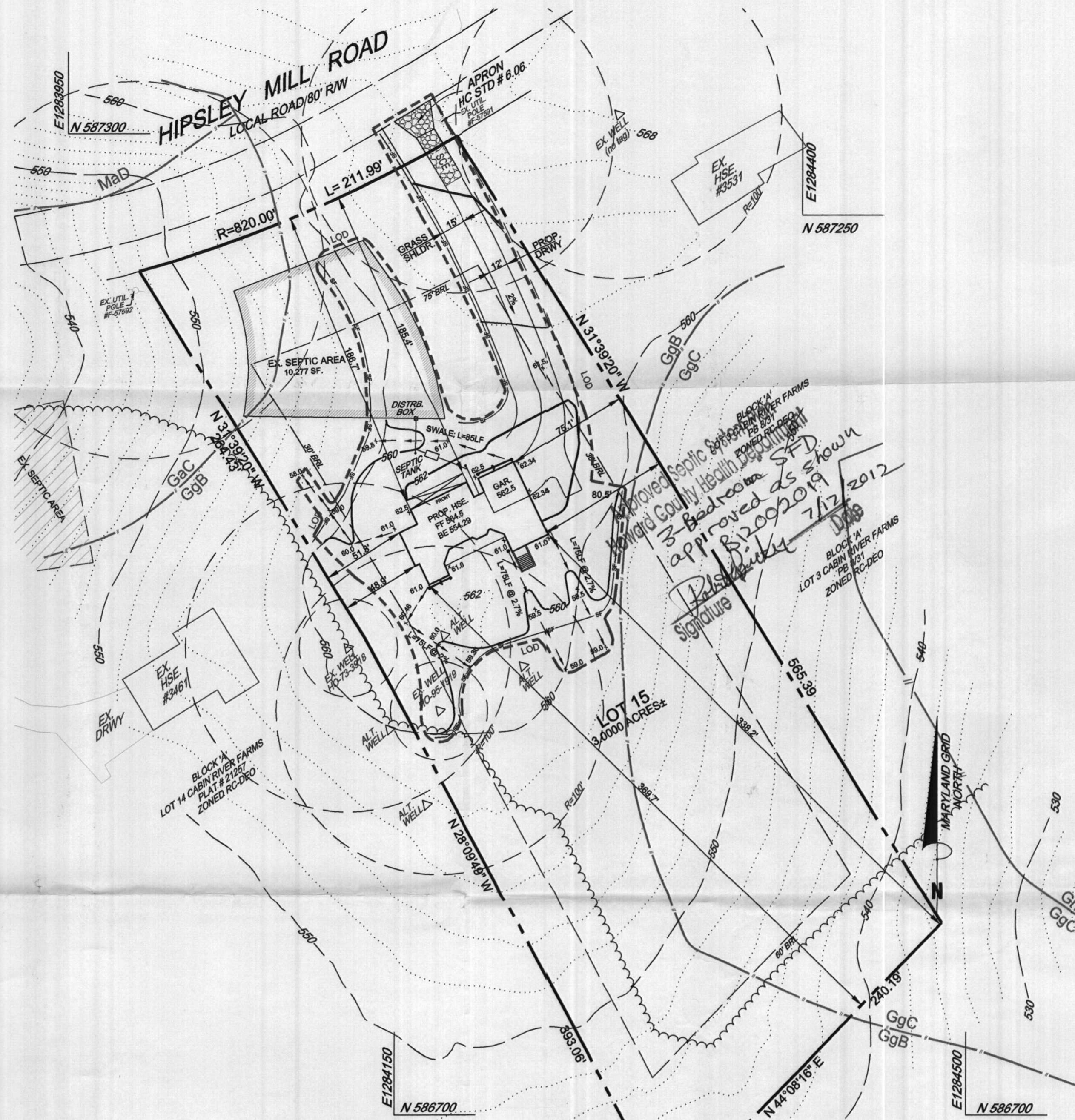
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



Construction Specifications

- Length - minimum of 60' (30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 6:1 slope and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE



- GENERAL NOTES**
- OWNERS: ANDRIANUS J. MEIJER
AVIS A. MEIJER
DEED REFERENCE: LIBER 1014 FOLIO 613
DATE: SEPTEMBER 2, 1980
GRANTOR: LOYAL E. GASSMAN
CONVEE: W. GASSMAN
 - TAX MAP 20, GRID 3, PARCEL 116
 - THE BOUNDARY SHOWN HEREON IS BASED UPON CURRENT TITLE DEED.
 - NEAREST PUBLIC WATER SUPPLY, DAMASCUS, DISTANCE 5 MILES (2)
 - THERE IS NO 100 YEAR FLOOD PLAIN LOCATED ON THIS PROPERTY BASED ON FEMA INSURANCE RATE MAP COMMUNITY PANEL #40044-0019 B, 12/4/86.
 - TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS DATA, DATUM IS NAVD83 AND CONTOUR INTERVAL IS 2 FT. FIELD CHECKED BY CRC & ASSOC.
 - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100 FT OF THE SUBJECT PROPERTY UNLESS OTHERWISE SHOWN HEREON.
 - EXISTING WELLS NO. 75-3016, NO. 95-1910 AND THE WELL WITH NO TAG ON ADJOINING PROPERTY LOT 3 CABIN RIVER FARMS, PB 831 SHOWN HEREON HAVE BEEN FIELD LOCATED AND SHOWN ACCURATELY.
 - SUBJECT PROPERTY IS ZONED RC-DEO.
 - THE SUBJECT PROPERTY SHOWN HEREON IS NOT SUBJECT TO ANY ZONING CASES VARIANCES OR SPECIAL EXCEPTIONS.
 - STORMWATER MANAGEMENT FOR THE SUBJECT PROPERTY SHOWN HEREON HAS BEEN SATISFIED BY TAKING CREDIT FOR DISCONNECTED ROOF TOP AND NON-ROOF TOP RUNOFF IN ACCORDANCE WITH MDC STORM WATER DESIGN MANUAL, VOL. 1, SEC. 5.1 AND MDC ENVIRONMENTAL SITE DESIGN (ESD), THE HOWARD CO. DESIGN MANUAL VOL. 1, CHAPTER 5 REVISED AND THE HOWARD CO. DESIGN ESD, ON SMALL PROJECTS.
 - THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1202 (b)(1)(i) OF HOWARD COUNTY CODE, DISTURBED AREA IS LESS THAN 40,000 SQUARE FEET IN SIZE.

SITE ANALYSIS

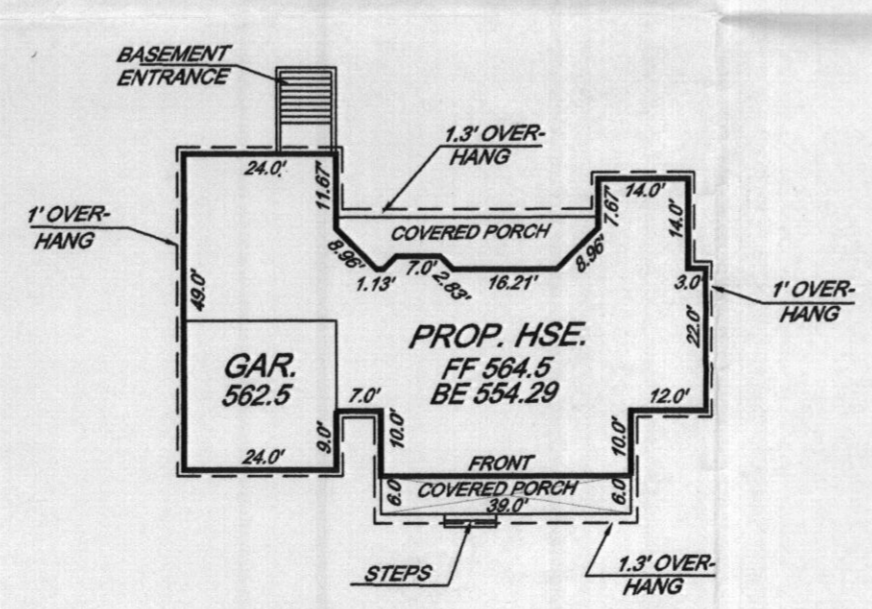
TOTAL AREA SITE	3.00 ACRES
AREA DISTURBED	28,500 SF
AREA TO BE ROOFED	4053 SF
AREA TO BE PAVED	3864 SF
TOTAL IMPERVIOUS AREA	7,717 SF
AREA TO BE VEGETATIVELY STABILIZED	31783 SF
TOTAL VOLUME CUT	948 CY
TOTAL VOLUME FILL	948 CY

SWM REQUIREMENTS

TOTAL AREA SITE	3.00 ACRES
PERCENT IMPERVIOUS	6%
RCN	63
TYPE 'B' SOIL	
P	1.07
ESD VOL.	568 CU-FT.
SATISFIED BY	DISCONNECTED RUNOFF.

LEGEND

EX. PROPERTY LINE	---
EX. RIGHT-OF-WAY	----
PROP. LOT LINES	----
EX. EASEMENTS	----
EX. CONTOURS
PROP. CONTOURS
EX. CURB & GUTTER	-----
EX. TREEWOODS LINE	~~~~~
SOILS LINE	-----
LIMIT OF DISTURBANCE	-----
DENOTES SLOPES 25% OR GREATER	-----
DENOTES SLOPES 15-25%	-----
EX. SEWAGE DISPOSAL AREA	-----
STABILIZED CONSTRUCTION ENTRANCE	-----
SUPER SILT FENCE	-----
SILT FENCE	-----



HOUSE DETAIL
SCALE: 1"=30'

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 7803 EXPIRATION DATE 4-22-2012

Charles R. Crocken
CHARLES R. CROCKEN, PE, MD, LICENSE REG. NO. 7803

HEALTH DEPT. PLAN 6-27-12
6-27-12
OKC.

OWNER:
ANDRIANUS J. MEIJER
AVIS A. MEIJER
3561 HIPSLEY MILL RD
WOODBINE MD 21797-7613

DEVELOPER:
CUMBERLAND DEVELOPMENT CORP.
C/O CURTIS CUMBERLAND
16391 MULLINIX RD.
WOODBINE MD 21797

NON-SDP RESIDENTIAL PLOT PLAN
LOT 15
BLOCK 'A'- CABIN RIVER FARMS
(MDR PLAT#21257)
3541 HIPSLEY MILL ROAD
BLOCK 'A'- CABIN RIVER FARMS

TAX MAP 20 GRID 3 PARCEL 115
4TH ELECTION DISTRICT

ZONED - "RC-DEO"
HOWARD COUNTY, MARYLAND

Prepared by: CHARLES R. CROCKEN AND ASSOCIATES, INC.
Civil Engineering - Land Planning
902 LEE AVE
SYKESVILLE, MD 21784
Tel. (410) 549-2708
Fax. (410) 549-9063

DATE: 6-27-12

TAX MAP 20 GRID 3 PARCEL 115	PROJECT NO.:
DESIGNED BY: C.R.C.	DATE: MAY, 2012
DRAWN BY: C.H.C.	SCALE: 1" = 50'
	DRAWING NO. 1 OF 1